

**Exterior Painting at Bay Vista West  
Bremerton, WA  
For Bremerton Housing Authority (BHA)**

Bremerton Housing Authority (BHA) will be accepting bids for exterior painting at Bay Vista West in Bremerton. To facilitate the bid process, a **pre-bid job walk** for all work will be held at the following date and time:

**Thursday, April 11, 2024, at 11:30 a.m.**

**Meet at the corner of Driftwood and Bay Vista Boulevard**

**It is strongly recommended, but not required, that contractors attend the job walk.**

**SCOPE OF WORK**

**1.01 General Conditions: This is an informal solicitation for exterior painting. Bay Vista West consists of twenty (20) two story buildings, (townhome/duplex style).**

- BHA's expected schedule is for work to be done by September 30, 2024. BHA will coordinate with the contractor and tenants to ensure the work can proceed efficiently.
- The Painting Contractor shall provide all paints, labor, tools, and supplies to perform a complete repaint of all exterior surfaces of the project specified in this document.
- The Contractor must perform all functions and activities in compliance to established industry practices and in a manner to produce finished work of top quality appearance and durability.
- The Painting Contractor shall cooperate with the Bremerton Housing Authority representative in every way, which shall include conducting the work to the schedule agreed upon. (Weather permitting)
- Damage to existing property caused by the Painting Contractor shall be repaired to the satisfaction of the Bremerton Housing Authority Representative at the Painting Contractor's expense.
- Painting should be done in appropriate weather and temperatures. A one-year warranty will be required.
- As-built building plans with elevations are attached. Map of area & address list are attached.
- BHA will designate a 'wash-out area'; location to be determined.
- A laydown/staging area will be provided for equipment & ladders. This will most likely be located in the adjacent Summit at Bay Vista parking lot. (4650 Bay Vista Blvd.)
- Contractor will need to provide a water truck for any power washing. Building water cannot be used.
- Utility conduits/vents/cables if already painted are to match existing color. Protect/Mask any dials/meters where needed. Protect sprinkler systems from paint/overspray.
- BHA understands that masking on windows, trim, outlets, etc., may need to remain for multiple days, we do want to be considerate of our residents and efficiently manage this work so that windows are covered for the shortest period possible.

- If tenants cause damage to new paint, BHA will be responsible, but contractor may be asked to redo the work under a contract amendment.
- **A performance and payment bond is required for 100% of the awarded value of the contract, the BHA Contracting Officer or Project Manager must review it. The Bond must name the Housing Authority of the City of Bremerton as the bond obligee. The Contractor shall deliver the required bonds to BHA before commencement of any work.**

### **1.02 Scope of Work Included:**

- Prepare buildings for painting to industry standard, including but not limited to; power washing, caulking, patching, sanding, priming.
- Replace siding (Hardi-plank) and trim as needed. Replacement of Hardi-plank and trim should be priced by linear foot with an hourly labor rate.
- Protect landscaping and other areas around the buildings from overspray. Vegetation will be trimmed 12" away from the building(s) prior to painting by BHA's landscape contractor. The painting schedule will need to be provided with enough notice that the landscaper can schedule and complete prior to painting.
- Full exterior repaint of all painted surfaces to include, but not limited to: paint all siding, trim around windows and doors, doors, deck rails, porches, porch ceilings & eaves. All surfaces are to be painted to match the existing color.
- Remove, paint, and reattach house numbers. If house numbers are missing, notify BHA.

### **1.02 Scope of Work Excluded:**

- Exterior surfaces that are not currently painted.
- Light fixtures
- Window frames

### **2.01 Colors**

- Paint is Sherwin Williams or equivalent, the product is A-100 and satin sheen. The color board for paint color currently on the buildings is attached. Colors of the buildings will remain the same.

### **2.02 Materials**

- Materials shall be delivered to the project in original packaging bearing the manufacturer's name and product number. All paint materials shall be from Sherwin Williams or equivalent.
- Materials shall comply with all current requirements of the Environmental Protection Agency, the appropriate Air Pollution Control District, and all other local, state, or Federal agencies.

### **2.03 Product Handling**

- Paint mixing and thinning, if necessary, shall be according to the manufacturer's instructions. All mixing and/or thinning material such as paint thinners, tools, rags, and partially filled containers shall be safely stored at the completion of each day's work.
- Onsite storage of equipment and/or materials to be approved through the

Bremerton Housing Authority's representative prior to commencement of work. All storage must comply with local health and fire regulations.

- Disposal of all wastewater and unused materials shall comply with local city, county, state or federal legal requirements and regulations.
- The awarded contractor shall execute all work in accordance with the specification, product label directions, and manufacturer's technical product data sheets.

### **3.01 Scheduling of Work**

- Painting Contractor shall coordinate the commencement of all work with the Bremerton Housing Authority Representative so as not to cause inconvenience to the residents.
- Bremerton Housing Authority shall post notices in advance informing residents of the date that work will commence.
- A pre-commencement meeting is recommended to coordinate all details with the painting contractor, Bremerton Housing Authority and any other contractor or vendor affected by work to be performed.

### **3.02 Condition of Surfaces**

- Painting contractor to examine all surfaces. Any surfaces that are in question or that will affect the execution or quality of work must be brought to the attention of the Bremerton Housing Authority Representative before painting commences.
- Thoroughly examine the specification at the site, in similar conditions under which work will be performed before submitting a proposal, clarify any questions or conditions with the Bremerton Housing Authority Representative. No allowance for lack of knowledge of obvious existing conditions will be made after bid acceptance.
- Submittal of a bid or proposal by the contractor constitutes acknowledgement and acceptance of this document in its entirety unless so noted in the proposal.

### **3.03 Workmanship**

- Provide best quality workmanship performed by skilled painters in compliance with this specification.
- Perform work under conditions best suited to the production of acceptable work and as per manufacturer recommendations.
- All work will be subject to approval by the Bremerton Housing Authority Representative. Correct all work which does not comply with the intent of the specification. Contractor will allow unrestricted access for inspection of work. After satisfactory completion of required provisions and subsequent approval granted by the owner/owner's representative, the project is considered complete and subject to the terms of any guarantees and approved for final payment.
- Protect all adjacent areas and surfaces from damage from paint and preparation work. (I.e. automobiles, sidewalks, asphalt, concrete, plants, etc.)

- Protect all landscaping during the painting period. Coordinate with Bremerton Housing Authority Representative for regulation of sprinkler and/or irrigation equipment during the painting process.
- Ensure that building hardware is removed and protected before painting is started and replaced/uncovered when painting in that area is completed.
- If surfaces to receive paint come into contact with earthen areas, thoroughly clean these surfaces from all dirt and grime prior to application of prime/finish coat systems. If any earth is displaced, backfill at completion of painting when the painted area is dry.
- Repair of substrates below weep screeds is excluded from this specification unless noted otherwise.
- Noise control: Coordinate with Bremerton Housing Authority Representative before using noisy, motorized equipment. The operation of noisy equipment is limited to normal working hours unless otherwise agreed upon before job commencement.
- Do not apply paint in rain, fog, mist, or when rain is imminent within 24 hours. Apply all specified materials when surface temperature is as recommended in manufacturer product data sheets.
- Immediately clean up all accidental spatters, spillage, and misplaced paint, and restore the affected surface to its original condition.
- Work area to be clean, orderly, and liability-free.
- The Painting Contractor shall take all necessary steps to protect the public and all property concerned.
- Coverage: the number of coats specified is the minimum number acceptable. If full coverage is not obtained with the specified number of coats, apply additional number of coats as necessary to produce the required finish.
- The Bremerton Housing Authority Representative will coordinate to have all trimming or removal of trees and vegetation from on or around surfaces to be painted to allow for easy access of crew and equipment prior to commencement of work.
- If applicable, the removal of patio furniture, barbeques, wall hangings, and personal property to be removed by the resident. Bremerton Housing Authority will notify residents to remove personal effects.
- All previously painted surfaces and items not specifically listed that form a part, or are in connection with the indicated work, shall be painted. Patch and repair as necessary to provide a sound substrate.
- Clean-up: At completion of work each day, remove all materials, supplies, debris and rubbish caused by Painting Contractor and leave workspaces and paint storage areas in a clean, acceptable condition.
- Materials applied must be well adhered, properly feathered, with the proper opacity and film thickness, without runs, sags, holidays, pinholes, skips, unacceptable stroke marks or other defects as reasonable within industry standards. Paint coatings will be cut-in neatly around all edges, trim, and other areas of demarcation.

### **3.04 Surface Preparation**

- Prepare surfaces in an expert manner to produce completed work of a top-quality appearance and durability.
- All surfaces must be made free of contamination (dust, dirt, chalk, soot, salt spray, grease, oil, wax, mildew, etc.) that may adversely affect the adhesion of primers, sealants, patching compounds, paints, coatings, etc. Utilize the appropriate solvent or biodegradable detergent solution to clean, remove, or neutralize surfaces so that they may readily receive repair, sealing, and coating materials.
- When using chemicals or solvents to prepare surfaces, special care is to be taken to ensure all chemicals or solvents used are completely removed from the substrate prior to application of primer and finish coat systems.
- Whenever possible pressure wash surfaces to be painted utilizing appropriate PSI so as not to damage the substrate. Where pressure washing is not possible, legal, or practical, hand wash with a biodegradable detergent and clean water, sponge, or broom to thoroughly clean areas to be painted.
- After surfaces have been cleaned and allowed to dry, remove any loose or peeling paint using hand tools or power tools in accordance with SSPC-SP2 (Hand Tool Cleaning) and SSPS-SP3 (Power Tool Cleaning) Methods. Feather-sand all repair edges and dust clean.
- Excavate blisters in existing paint film, feather-sand edges, and dust clean.
- Thoroughly scuff-sand glossy surfaces scheduled for painting to insure adhesion; and use a phosphate-free TSP solution or chemical de-glosser where necessary and permissible.
- Avoid using patching and repair materials with high lime concentrations on cementitious surfaces where applicable.
- All repairs and or patching to be feathered and blended to match the adjacent substrate.
- Remove any existing deteriorated patching and caulking materials and repair or replace as specified below.
- Prime or spot prime new or repaired and patched surfaces with a suitable primer.
- It is the contractors' responsibility to determine if the surface or substrate is in sound condition prior to commencement of any work including but not limited to washing, preparation, painting, coating, or staining of any surface or substrate.

### **3.05 Metal Substrates**

- Dust, dirt, rust, scale, oil/grease, contaminants, peeling or loose paint are to be removed by high pressure power washing, scraping, sanding, hand/power tool scraping, and wire brushing as necessary to insure a clean sound substrate for application of

prime/finish coat systems. Scrape and sand smooth all areas to receive finish.

- Remove all oils and or contamination from metal and etch substrates with the appropriate cleaner/etcher/degreaser as per manufacturer recommendations, wash, and rinse thoroughly prior to application of prime/finish coat systems. All metal to be free of moisture prior to application of prime/finish coat systems.
- Prime all bare metal within three hours of preparation. Topcoat all primed areas immediately upon cure.

#### **4.0 Paint Finish Schedule**

- Finish surfaces in accordance with the following procedure(s) for the surface and finish desired.
- All products to be applied according to their recommended mils of wet film (WFT) and dry film (DFT) thicknesses to achieve full coverage. Refer to Technical Data Sheets.
- Product names and numbers refer to products manufactured and/or distributed by Sherwin Williams or an approved equal with no substitutions, unless otherwise noted in writing.

#### **General Information:**

The lowest responsive and responsible bidder that is able to meet BHA's schedule will be chosen based on their response to the items listed. BHA reserves the right to award additional related work to the winning bidder. Contractors will develop a schedule to perform the work. The contract will be awarded to the contractor whose proposal is the highest ranked based on price, schedule to completion, evidence of required licensing, bonding, and insurance. Once the Contract and Notice to Proceed are fully executed work can be scheduled to begin, BHA will need to provide proper notice to the residents.

**Schedule:** Work must be completed within 180 days (barring unforeseen circumstances) of the date of the Notice to Proceed.

**Davis Bacon Wage Rates:** This project is subject to Davis Bacon wage rates. Contractor will be required to submit certified payroll on a weekly basis. Applicable wage rates are attached.

**Washington Department of Labor & Industries:** An Intent to Pay Prevailing Wage, Affidavit of Wages Paid, and Certified Payroll must be filed with the Department of Labor & Industries.

**Sales Tax:** Sales tax does apply to this work.

#### **Bids:**

- Bids must address schedule. Please break out the following information:
  - Lead time for materials, if any.
  - Number of business days to complete project once started.
  - Date you are available to begin work after notice to proceed (if there is no lead time for materials) or the date you will order materials after notice to proceed.
  - Please state if there will be a delay between the arrival of materials and the time work actually begins. If there is a delay, please state how many business days.

- No pricing form is being provided by BHA. Please use your own form to provide your estimate showing a breakdown of fees based on the scope of work provided.

**References:**

Please provide three to five references for similar work performed for public agencies, or similar-sized projects. Please include a contact name, phone number, and email address.

**The following documents must be included in the Contractor's Proposal:**

- State of Washington Master Business License
- Bremerton Business License (or proof of application for license/endorsement for the City of Bremerton)
- Contractor's License
- Proof of Bonding
- Evidence of Insurance Certificate
- Profile of Firm Form
- W-9

**Questions must be submitted by 2 PM on Thursday, April 18, 2024, to:**

Tina Walgren: [twalgren@bremertonhousing.org](mailto:twalgren@bremertonhousing.org)

**BIDS ARE DUE BY 2 PM on Monday, April 29, 2024. Reference: BVW042024-01 in the subject line.**

**They must be emailed by that time to: [twalgren@bremertonhousing.org](mailto:twalgren@bremertonhousing.org)**

## PROFILE OF FIRM FORM

**(This Form must be fully completed.)**

- (1)  Prime       Subcontractor
- (2)  Firm's Legal Name: \_\_\_\_\_
- (3)  Mailing Address: \_\_\_\_\_
- Individual/Sole Proprietor     Corporation     Partnership  
 Limited Liability Company (LLC). Enter tax classification \_\_\_\_\_  
(D=Disregarded Entity, C=Corporation, P=Partnership)  
 Other: (Indicate) \_\_\_\_\_
- Check appropriate box:
- (4)  \_\_\_\_\_
- (5)  Street Address (if different): \_\_\_\_\_
- (6)  City, State, Zip: \_\_\_\_\_
- (7)  Primary Contact AND Title: \_\_\_\_\_, \_\_\_\_\_
- (8)  E-mail Address: \_\_\_\_\_
- (9)  Telephone #: (      )      -      Fax #: (      )      -
- (10)  Federal Tax ID #: \_\_\_\_\_
- (11)  UBI #: \_\_\_\_\_ DUNS #: \_\_\_\_\_
- (12)  City of Brem License #: \_\_\_\_\_ WA ST License Type & #: \_\_\_\_\_
- (13)  Year Firm Established: \_\_\_\_\_ Year Firm Established in Bremerton: \_\_\_\_\_  
 Former Name & Year \_\_\_\_\_
- (14)  Established, if applicable:    Name: \_\_\_\_\_    Year: \_\_\_\_\_  
 Name of Parent Co & Date      Parent Co \_\_\_\_\_
- (15)  Acquired, if applicable:      Name: \_\_\_\_\_      Year: \_\_\_\_\_

(16) Identify the Principals/Partners in Firm

NAME	TITLE	% of OWNERSHIP

(17) Identify the individual(s) that will act as project manager and any other supervisory personnel that will work on project.

NAME	TITLE

(18) **Proposer Diversity Statement:** You must circle all of the following that apply to the ownership of this firm and enter where provided the correct percentage (%) of ownership of each:

- Caucasian American (Male) \_\_\_\_\_%

Public-Held Corporation \_\_\_\_\_%

Government Agency \_\_\_\_\_%

Non-Profit Organization \_\_\_\_\_%

Resident- (RBE), Minority- (MBE), or Woman-owned (WBE) Business Enterprise (qualifies by virtue of 51% or more ownership and active management by one or more of the following:

- Resident Owned\* \_\_\_\_\_%

African American \_\_\_\_\_%

Native American\*\* \_\_\_\_\_%

Hispanic American \_\_\_\_\_%

Asian/Pacific American \_\_\_\_\_%

Hasidic Jew \_\_\_\_\_%

Asian/Indian American \_\_\_\_\_%
- Woman-owned (MBE) \_\_\_\_\_%

Woman-owned (Caucasian) \_\_\_\_\_%

Disabled Veteran \_\_\_\_\_%

Other (Specify) \_\_\_\_\_%

WMBE Certification No. \_\_\_\_\_  
 Certified By (print): \_\_\_\_\_

**Note:** A certification/number is not required to propose – Enter if available.  
 Questions? MWBE Office (360) 753-9693.

Signature \_\_\_\_\_
Date (mm/dd/yr)      /      /
Printed Name \_\_\_\_\_
Company \_\_\_\_\_

**SUBCONTRACTOR(S) MUST COMPLETE SEPARATE ATTACHMENT:**

HOUSING AUTHORITY OF THE CITY OF BREMERTON (BHA)



PROFILE OF FIRM FORM

(19) Worker's Compensation Insurance Carrier: Policy #: \_\_\_\_\_ Expiration Date: \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_

(20) General Liability Insurance Carrier: Policy #: \_\_\_\_\_ Expiration Date: \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_

(21) Professional Liability Insurance Carrier: Policy #: \_\_\_\_\_ Expiration Date: \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_

(22) **Debarred Statement:** Has this firm or any principal(s) ever been debarred from providing any services by the federal government, state government, the State of Washington, or any local government agency within or out of the State of Washington?  Yes  No If YES, attach a full detailed explanation, including dates, circumstances, and current status.

(23) **Disclosure Statement:** Does this firm or any principals thereof have any current, past personal or professional relationships with any commissioner of officer of BHA?  Yes  No If YES, attach a full detailed explanation, including dates, circumstances, and current status.

(24) **Non-collusive Affidavit:** The undersigned party submitting this proposal hereby certifies that such proposal is genuine and not collusive and that said proposer entity has not colluded, conspired, connived or agreed, directly or indirectly, with any proposer or person, to put in a sham proposal or to refrain from proposing, and has not in any manner, directly or indirectly sought by agreement or collusion, or communication or conference, with any person, to fix the proposal price of affiant or of any other proposer, to fix overhead, profit or cost element of said proposal price, or that of any other proposer or to secure any advantage against BHA or any person interested in the proposed contract; and that all statements in said proposal are true.

(25) **Verification Statement:** The undersigned proposer hereby states that by completing and submitting this form he/she is verifying that all information provided herein is, to the best of his/her knowledge, true and accurate, and agrees if BHA discovers any information entered herein is false, that shall entitle BHA to not consider or make an award or to cancel any award with the undersigned party.

\_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_  
Signature Date (mm/dd/yr)

\_\_\_\_\_  
Printed Name Title

**SUBCONTRACTOR(S) MUST COMPLETE SEPARATE ATTACHMENT:**

# Request for Taxpayer Identification Number and Certification

**Give Form to the  
requester. Do not  
send to the IRS.**

<b>Print or type See Specific Instructions on page 2.</b>	<b>1</b> Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.	
	<b>2</b> Business name/disregarded entity name, if different from above	
	<b>3</b> Check appropriate box for federal tax classification; check only <b>one</b> of the following seven boxes: <input type="checkbox"/> Individual/sole proprietor or single-member LLC <input type="checkbox"/> C Corporation <input type="checkbox"/> S Corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=partnership) ▶ _____ <b>Note.</b> For a single-member LLC that is disregarded, do not check LLC; check the appropriate box in the line above for the tax classification of the single-member owner. <input type="checkbox"/> Other (see instructions) ▶ _____	<b>4</b> Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from FATCA reporting code (if any) _____ <i>(Applies to accounts maintained outside the U.S.)</i>
	<b>5</b> Address (number, street, and apt. or suite no.)	Requester's name and address (optional)
	<b>6</b> City, state, and ZIP code	
	<b>7</b> List account number(s) here (optional)	

## Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the Part I instructions on page 3. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN* on page 3.

<b>Social security number</b>											
				-			-				
<b>or</b>											
<b>Employer identification number</b>											
				-							

**Note.** If the account is in more than one name, see the instructions for line 1 and the chart on page 4 for guidelines on whose number to enter.

## Part II Certification

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions on page 3.

<b>Sign Here</b>	Signature of U.S. person ▶	Date ▶
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## General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

**Future developments.** Information about developments affecting Form W-9 (such as legislation enacted after we release it) is at [www.irs.gov/fw9](http://www.irs.gov/fw9).

### Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following:

- Form 1099-INT (interest earned or paid)
- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)

- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

*If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding? on page 2.*

By signing the filled-out form, you:

1. Certify that the TIN you are giving is correct (or you are waiting for a number to be issued),
2. Certify that you are not subject to backup withholding, or
3. Claim exemption from backup withholding if you are a U.S. exempt payee. If applicable, you are also certifying that as a U.S. person, your allocable share of any partnership income from a U.S. trade or business is not subject to the withholding tax on foreign partners' share of effectively connected income, and
4. Certify that FATCA code(s) entered on this form (if any) indicating that you are exempt from the FATCA reporting, is correct. See *What is FATCA reporting?* on page 2 for further information.

"General Decision Number: WA20240092 03/08/2024

Superseded General Decision Number: WA20230092

State: Washington

Construction Type: Residential

County: Kitsap County in Washington.

RESIDENTIAL CONSTRUCTION PROJECTS (consisting of single family homes and apartments up to and including 4 stories).

Note: Contracts subject to the Davis-Bacon Act are generally required to pay at least the applicable minimum wage rate required under Executive Order 14026 or Executive Order 13658.

Please note that these Executive Orders apply to covered contracts entered into by the federal government that are subject to the Davis-Bacon Act itself, but do not apply to contracts subject only to the Davis-Bacon Related Acts, including those set forth at 29 CFR 5.1(a)(1).

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If the contract is entered into on or after January 30, 2022, or the contract is renewed or extended (e.g., an option is exercised) on or after January 30, 2022:	. Executive Order 14026 generally applies to the contract.
	The contractor must pay all covered workers at least \$17.20 per hour (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on the contract in 2024.

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If the contract was awarded on or between January 1, 2015 and January 29, 2022, and the contract is not renewed or extended on or after January 30, 2022:	. Executive Order 13658 generally applies to the contract.
	The contractor must pay all covered workers at least \$12.90 per hour (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on that contract in 2024.

The applicable Executive Order minimum wage rate will be adjusted annually. If this contract is covered by one of the Executive Orders and a classification considered necessary for performance of work on the contract does not appear on this

wage determination, the contractor must still submit a conformance request.

Additional information on contractor requirements and worker protections under the Executive Orders is available at <http://www.dol.gov/whd/govcontracts>.

Modification Number    Publication Date

0            01/05/2024

1            03/08/2024

BRWA0001-019 06/01/2021

Rates            Fringes

BRICKLAYER.....\$ 46.14            17.18

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\* LABO0238-001 06/01/2023

Rates            Fringes

LABORER (Mason Tender -  
Cement/Concrete).....\$ 34.97            15.70

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LABO0242-001 06/10/2021

Rates            Fringes

LABORER (Mason Tender - Brick)...\$ 42.98            13.19

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PAIN0300-001 07/01/2020

Rates            Fringes

PAINTER (Spray Only).....\$ 31.02            12.08

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PLAS0528-003 06/01/2023

Rates            Fringes

CEMENT MASON/CONCRETE FINISHER...\$ 52.10            20.27

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SHEE0066-044 06/01/2019

Rates            Fringes

SHEET METAL WORKER (Including  
HVAC Duct Installation).....\$ 56.09            28.02

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TEAM0690-010 01/01/2019

Rates            Fringes

TRUCK DRIVER

GROUP 3.....	\$ 28.16	17.40
GROUP 4.....	\$ 28.49	17.40
GROUP 5.....	\$ 28.60	17.40
GROUP 6.....	\$ 28.76	17.40
GROUP 7.....	\$ 29.30	17.40
GROUP 8.....	\$ 29.62	17.40

TRUCK DRIVERS CLASSIFICATIONS

- GROUP 3: Trucks, side, end, bottom and articulated end dump (3 yards to and including 6 yds.)
- GROUP 4: Trucks, side, end, bottom and articulated end dump (over 6 yds. to & including 12 yds.)
- GROUP 5: Trucks, side, end, bottom and articulated end dump (over 12 yds. to & including 20 yds.)
- GROUP 6: Trucks, side, end, bottom and articulated end dump (over 20 yds. to & including 40 yds.)
- GROUP 7: Truck, side, end, bottom and articulated end dump (over 40 yds. to & including 100 yds.)
- GROUP 8: Trucks, side, end, bottom and articulated end dump (over 100 yds.)

FOOTNOTE A - Anyone working on a HAZMAT job, where HAZMAT certification is required, shall be compensated as a premium, in addition to the classification working in as follows:

LEVEL C-D: - \$.50 PER HOUR - This level may use an air purifying respirator or additional protective clothing.

LEVEL A-B: - \$1.00 PER HOUR - Uses supplied air in conjunction with a chemical splash suit or fully encapsulated suit with a self-contained breathing apparatus.

Employees shall be paid Hazmat pay in increments of four(4) and eight(8) hours.

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SUWA2011-012 06/27/2014

	Rates	Fringes
CARPENTER.....	\$ 24.80	4.72
ELECTRICIAN.....	\$ 33.54	11.71
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OPERATOR: Bobcat/Skid Steer/Skid Loader.....	\$ 17.53	0.00

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PLUMBER.....	\$ 30.53	7.84
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END OF GENERAL DECISION"

"General Decision Number: WA20240092 03/08/2024

Superseded General Decision Number: WA20230092

State: Washington

Construction Type: Residential

County: Kitsap County in Washington.

RESIDENTIAL CONSTRUCTION PROJECTS (consisting of single family homes and apartments up to and including 4 stories).

Note: Contracts subject to the Davis-Bacon Act are generally required to pay at least the applicable minimum wage rate required under Executive Order 14026 or Executive Order 13658.

Please note that these Executive Orders apply to covered contracts entered into by the federal government that are subject to the Davis-Bacon Act itself, but do not apply to contracts subject only to the Davis-Bacon Related Acts, including those set forth at 29 CFR 5.1(a)(1).

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If the contract is entered into on or after January 30, 2022, or the contract is renewed or extended (e.g., an option is exercised) on or after January 30, 2022:	Executive Order 14026 generally applies to the contract. The contractor must pay all covered workers at least \$17.20 per hour (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on the contract in 2024.
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Modification Number    Publication Date

0            01/05/2024

1            03/08/2024

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BRICKLAYER.....\$ 46.14            17.18

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Rates            Fringes

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Cement/Concrete).....\$ 34.97            15.70

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Rates            Fringes

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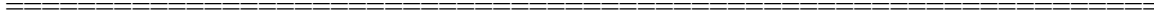
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END OF GENERAL DECISION"



BAY VISTA WEST

Tonkin / Hoyme  
Architecture &  
Urban Design

OWNER/DEVELOPER  
BREMERTON HOUSING AUTHORITY  
4040 WHEATON WAY  
BREMERTON, WA 98510  
(360) 616-7100

ARCHITECT  
TONKIN / HOYME PS  
244 FIRST AVENUE SOUTH  
SEATTLE, WA 98104  
(206) 624-7800

CIVIL ENGINEER  
BCRA ENGINEERING  
2108 PACIFIC AVENUE, SUITE 300  
TACOMA, WA 98402  
(253) 627-4367

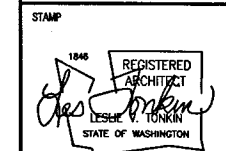
LANDSCAPE ARCHITECT  
BERGER PARTNERSHIP PS  
1721 8TH AVENUE NORTH  
SEATTLE, WA 98109  
(206) 325-8877

STRUCTURAL ENGINEER  
MICHAEL NOUWENS  
STRUCTURAL CONSULTANTS  
17529 TENTH AVENUE NW  
SHORELINE, WA 98177  
(206) 546-8446

MECHANICAL ENGINEER  
PRESSLER ENGINEERING, INC.  
18702 NORTH CREEK PKWY, SUITE 213  
BOTHELL, WA 98011  
(425) 485-3002

ELECTRICAL ENGINEER  
TRES WEST ENGINEERS, INC.  
2702 SOUTH 42ND STREET, SUITE 301  
TACOMA, WA 98409  
(253) 472-3300

CONTRACTOR  
WALSH CONSTRUCTION CO.  
509 FARVIEW AVENUE NORTH  
SEATTLE, WA 98109  
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FOR PERMIT ONLY  
THIS DOCUMENT HAS BEEN PREPARED FOR  
PERMIT APPLICATION AND IS SUBJECT TO REVIEW  
AND MODIFICATIONS BY GOVERNMENT AGENCIES

DRAWING ISSUE  
PERMIT SET: 03-07-11  
BID SET: 04-07-11

DRAWING TITLE  
BLDG 39-C -  
ELEVATIONS AND  
SECTIONS  
SCALE: 1/8" = 1'-0"  
PLOT DATE: 03/26/2011  
CAD FILE: BVW-39C-A3001  
PROJ. MGR.: MM/PPM  
DRAFTER: LC

39C A30.1

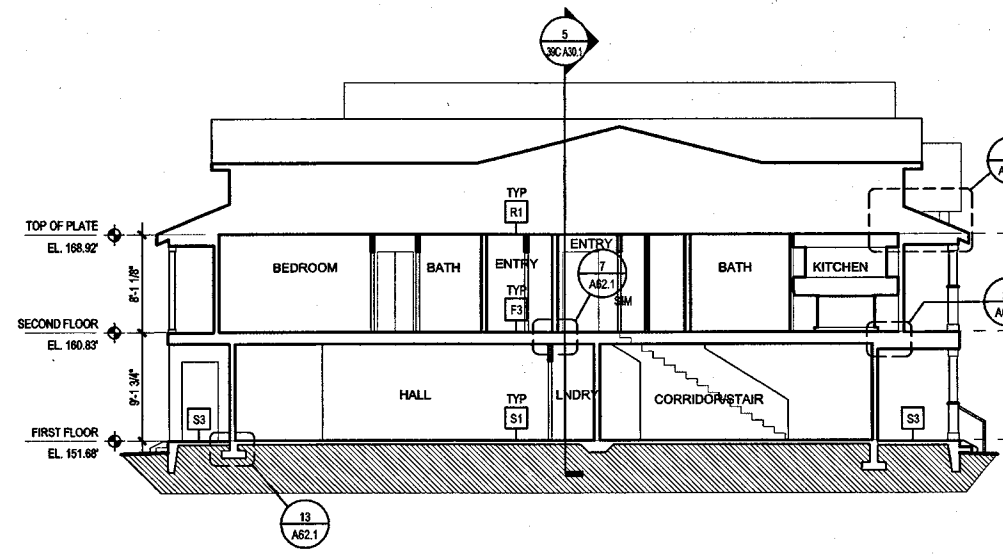
- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
  - STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
  - COLOR IS UNIFORM PER UNIT FOR FASCIA, DOOR TRIM, WINDOW TRIM, GARAGE DOORS, COLUMNS, RAILINGS, BRACKETS AND ALL OTHER EXTERIOR TRIMS, UNO. FRONT DOOR COLORS ARE NOTED SEPARATELY; SEE ELEVATION.
  - ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
  - ALL EXTERIOR TRIM TO BE FIBER CEMENT BOARD U.N.O. IN SIZES INDICATED.
  - ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15/A62.2.
  - PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

- LEGEND:**
- EXISTING GRADE -----
- FINISH GRADE \_\_\_\_\_

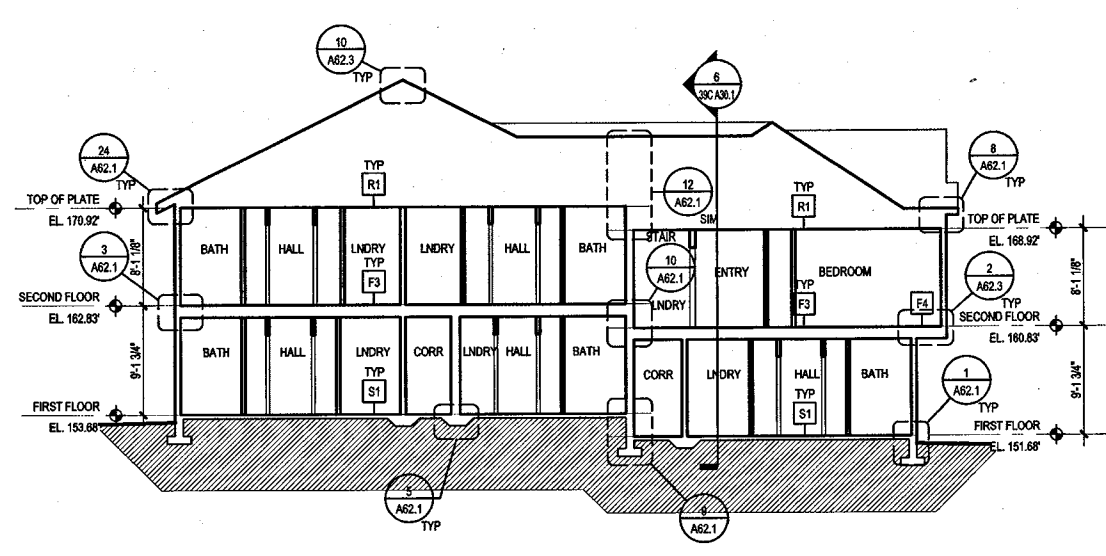
COLOR (PAPCO PREMIER)	ROOF COLOR	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN/165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (IPP/73); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP/38); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R/79); SW6314
		5	POLISHED MAHOGANY (EPP/27); SW2838
		6	TEAL STENCIL (IPP/20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G/32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (IPP/27); SW0051
		11	VOGUE GREEN (IPP/71); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

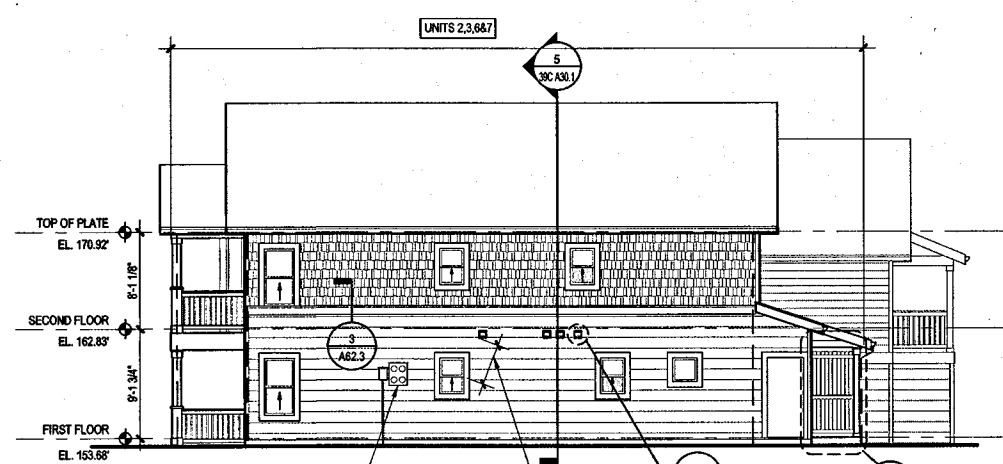
	FRONT ENTRY	DECK	REAR	STORAGE (INCL. TRIM)
UNIT 1	COLOR: 7	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 3	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 3	COLOR: 3	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 4	COLOR: N/A	COLOR: 3	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 5	COLOR: N/A	COLOR: 3	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 6	COLOR: N/A	COLOR: 9	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 7	COLOR: N/A	COLOR: 9	MATCH ADJ TRIM	MATCH ADJ SIDING
COMMON 1	COLOR: 7	N/A	MATCH ADJ TRIM	N/A
COMMON 2	COLOR: 3	N/A	MATCH ADJ TRIM	N/A



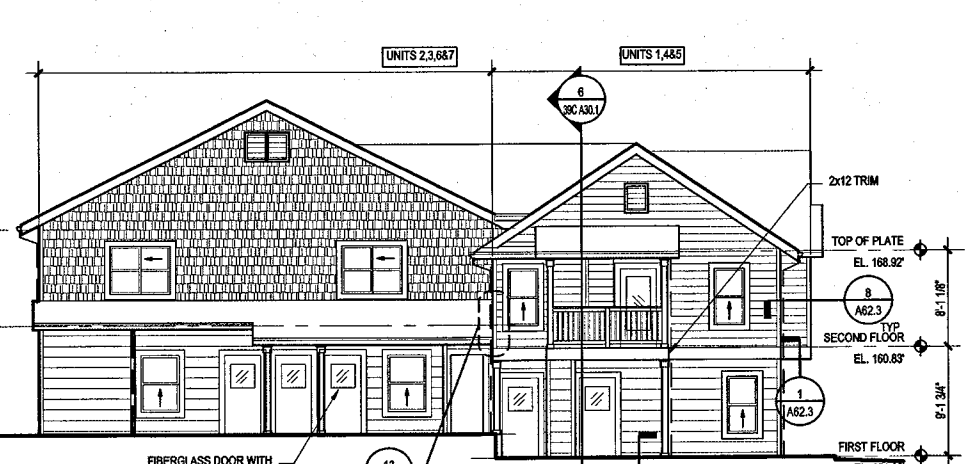
6 BLDG 39-C - SECTION - FACING EAST  
SCALE: 1/8" = 1'-0"  
BV-B5-46



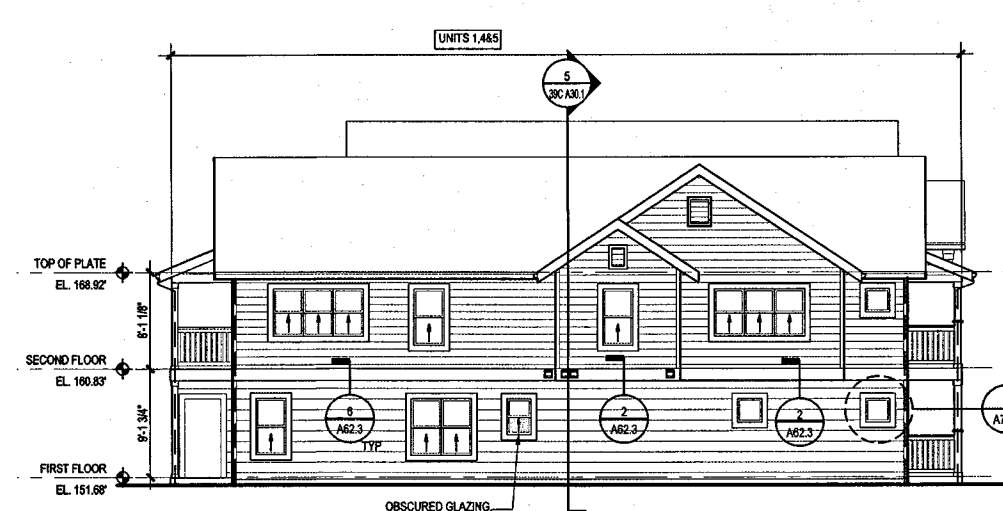
5 BLDG 39-C - SECTION - FACING SOUTH  
SCALE: 1/8" = 1'-0"  
BV-B5-46



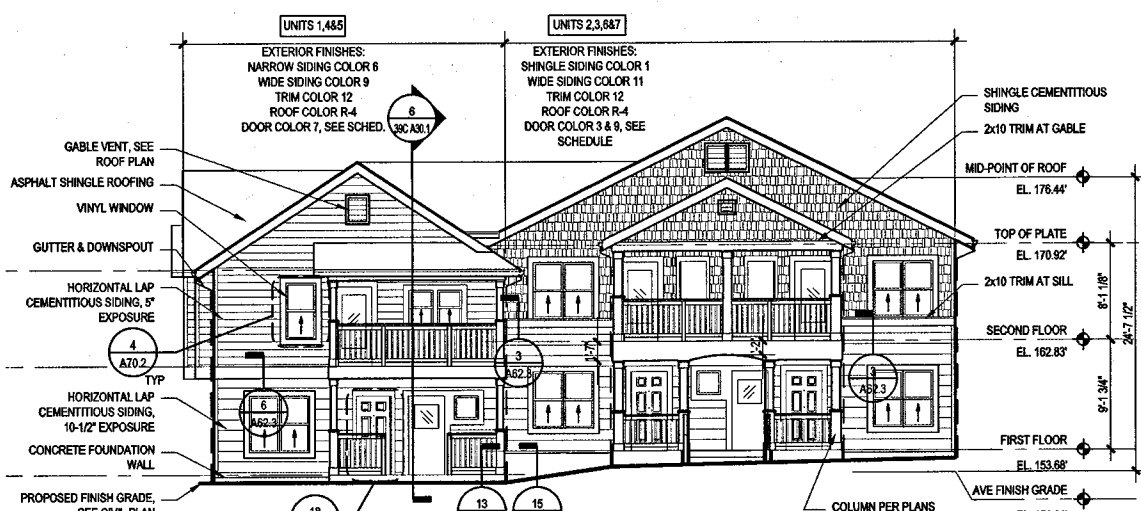
4 BLDG 39-C - EAST ELEVATION  
SCALE: 1/8" = 1'-0"  
BV-BE-46.dwg



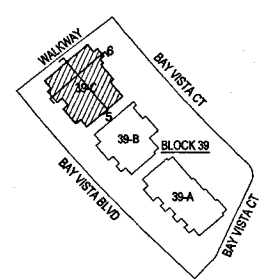
3 BLDG 39-C - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"  
BV-BE-46.dwg



2 BLDG 39-C - WEST ELEVATION  
SCALE: 1/8" = 1'-0"  
BV-BE-46.dwg



1 BLDG 39-C - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"  
BV-BE-46.dwg





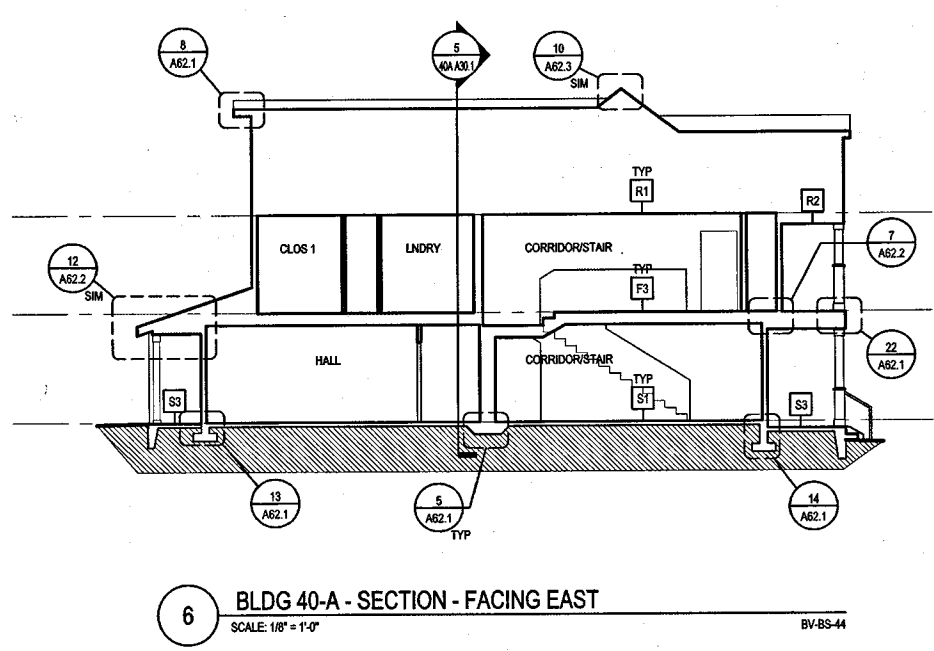
- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
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  - ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
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  - PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

- LEGEND:**
- EXISTING GRADE - - - - -
- FINISH GRADE \_\_\_\_\_

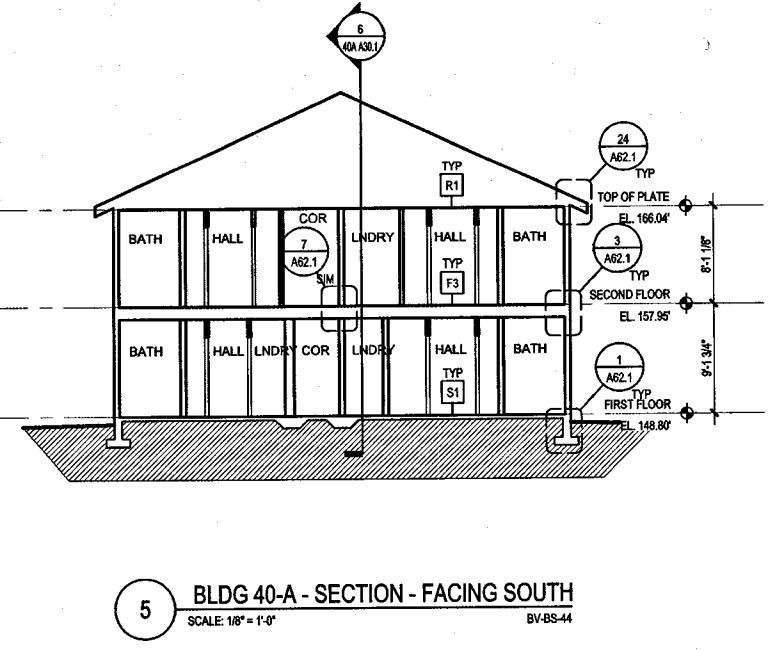
COLOR	ROOF COLOR (PAPCO PREMIER)	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (IPP73); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP38); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R79); SW6314
		5	POLISHED MAHOGANY (EPP27); SW2838
		6	TEAL STENCIL (IPP20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (IPP27); SW0051
		11	VOGUE GREEN (IPP71); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

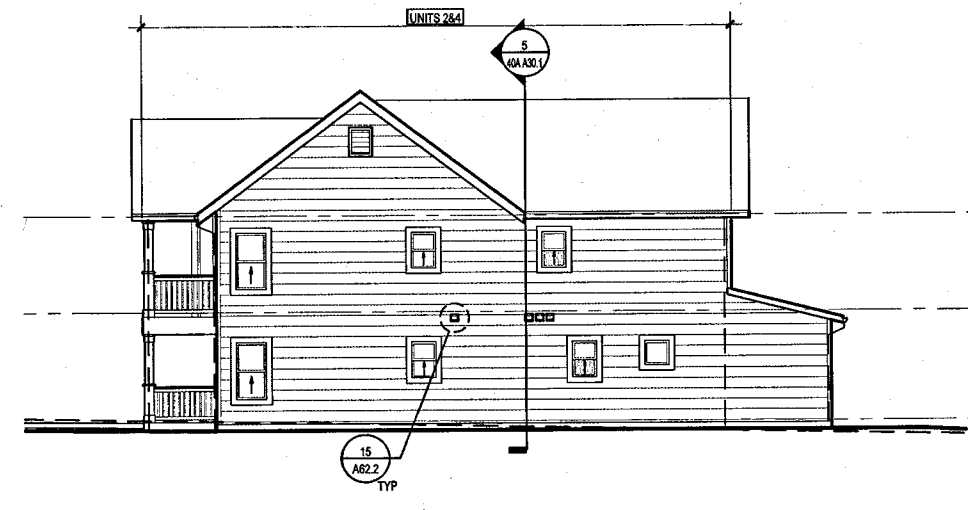
	FRONT ENTRY	DECK	REAR	STORAGE (INCL. TRIM)
UNIT 1	COLOR: 10	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING
UNIT 2	COLOR: 10	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING
UNIT 3	COLOR: 10	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING
UNIT 4	COLOR: 10	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING



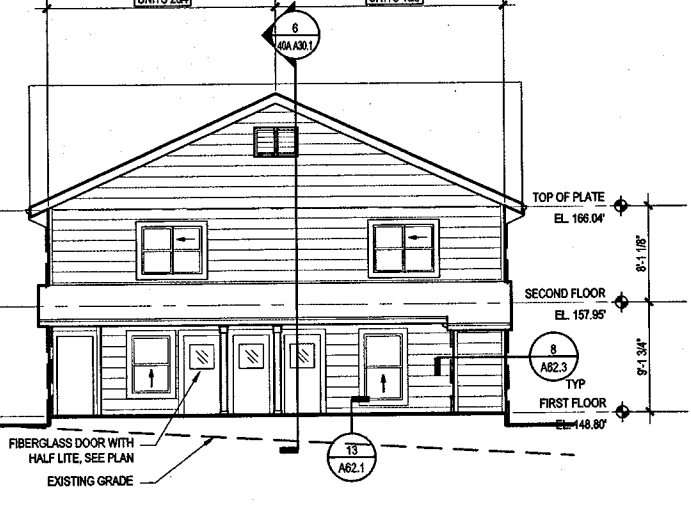
**6 BLDG 40-A - SECTION - FACING EAST**  
SCALE: 1/8" = 1'-0" BV-BS-44



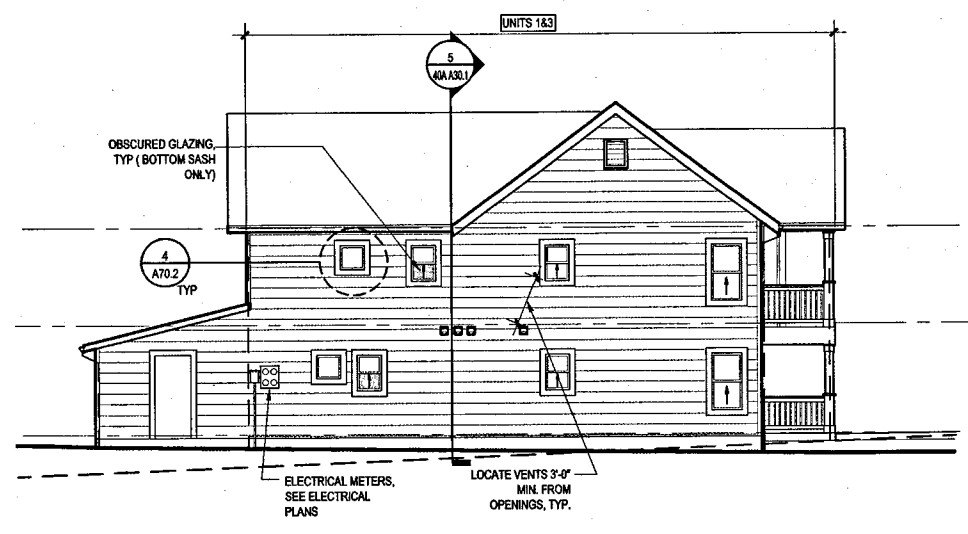
**5 BLDG 40-A - SECTION - FACING SOUTH**  
SCALE: 1/8" = 1'-0" BV-BS-44



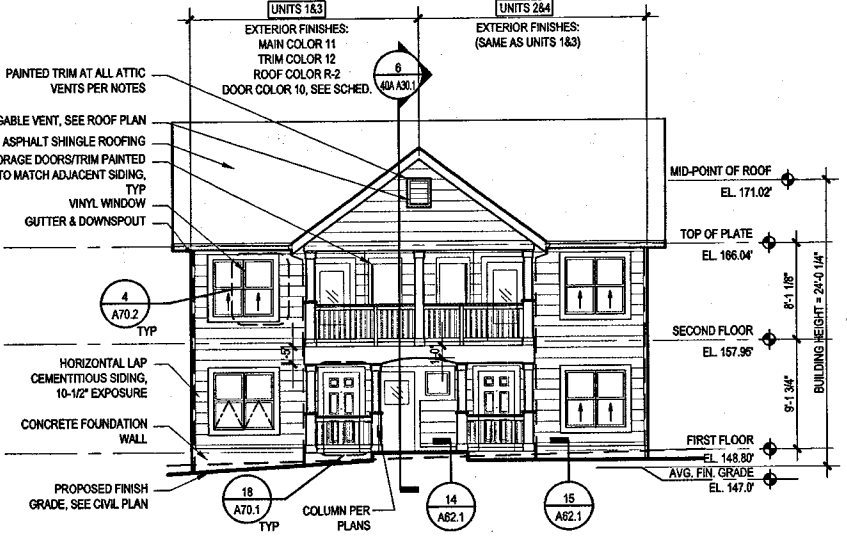
**4 BLDG 40-A - EAST ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-44.dwg



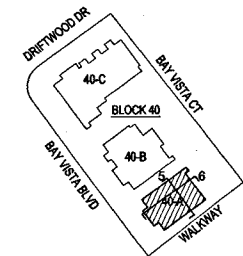
**3 BLDG 40-A - NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-44.dwg

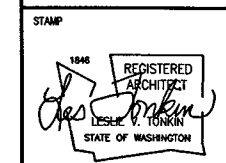


**2 BLDG 40-A - WEST ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-44.dwg



**1 BLDG 40-A - SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-44.dwg





FOR PERMIT ONLY  
THIS DOCUMENT HAS BEEN PREPARED FOR  
PERMIT APPLICATION AND IS SUBJECT TO REVIEW  
AND MODIFICATIONS BY GOVERNMENT AGENCIES

DRAWING ISSUE  
PERMIT SET: 03-07-11  
BID SET: 04-07-11

DRAWING TITLE  
**BLDG 40-B - ELEVATIONS AND SECTIONS**

SCALE: 1/8" = 1'-0"  
PLOT DATE: 05/26/2011  
CAD FILE: BVW-40B-A3001  
PROJ. MGR.: MM/PPM  
DRAFTER: LC

SHEET NO.  
**40B A30.1**

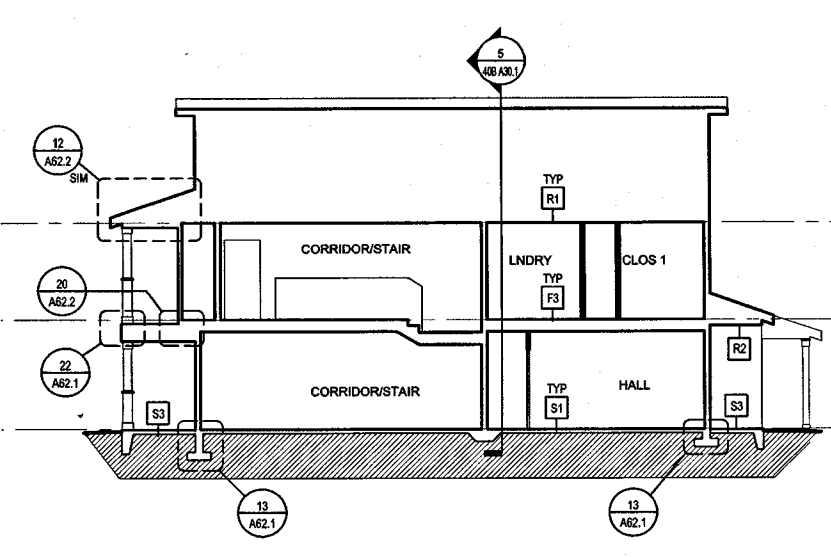
- ELEVATION NOTES:**
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  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
  - STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
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  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

- LEGEND:**
- EXISTING GRADE - - - - -
- FINISH GRADE \_\_\_\_\_

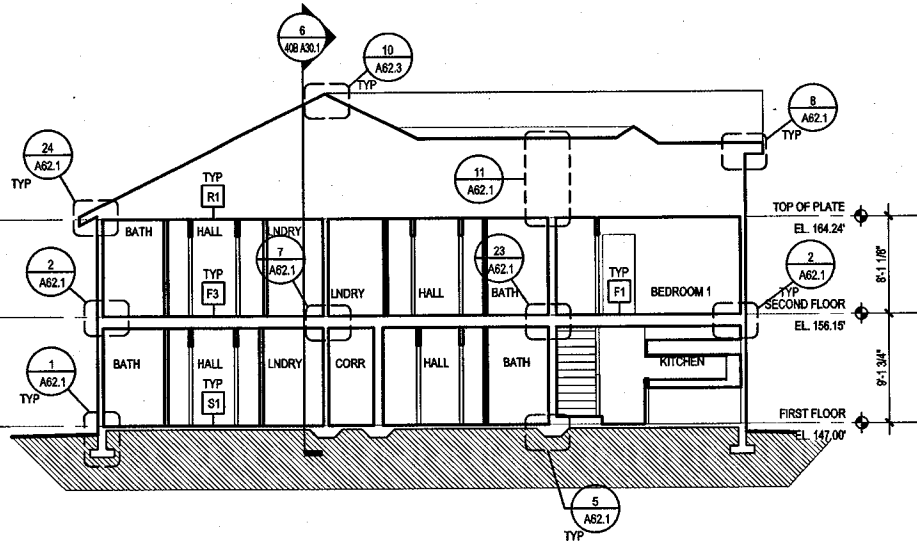
COLOR	ROOF COLOR (PAPCO PREMIER)	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FW165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (PP173); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP28); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R79); SW6314
		5	POLISHED MAHOGANY (EPP27); SW2838
		6	TEAL STENCIL (IPP20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (IPP27); SW0051
		11	VOGUE GREEN (IPP71); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

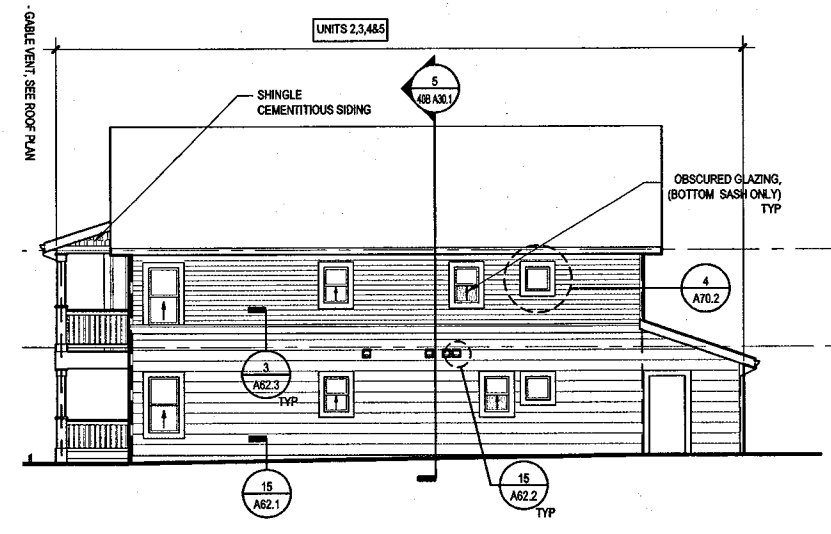
	FRONT ENTRY	DECK	REAR	STORAGE (INCL TRIM)
UNIT 1	COLOR: 4	MATCH FRONT ENTRY TRIM	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 3	MATCH FRONT ENTRY TRIM	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 3	COLOR: 3	MATCH FRONT ENTRY TRIM	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 4	NA	COLOR: 9	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 5	NA	COLOR: 9	MATCH ADJ TRIM	MATCH ADJ SIDING
COMMON 1	COLOR: 3	NA	MATCH ADJ TRIM	NA



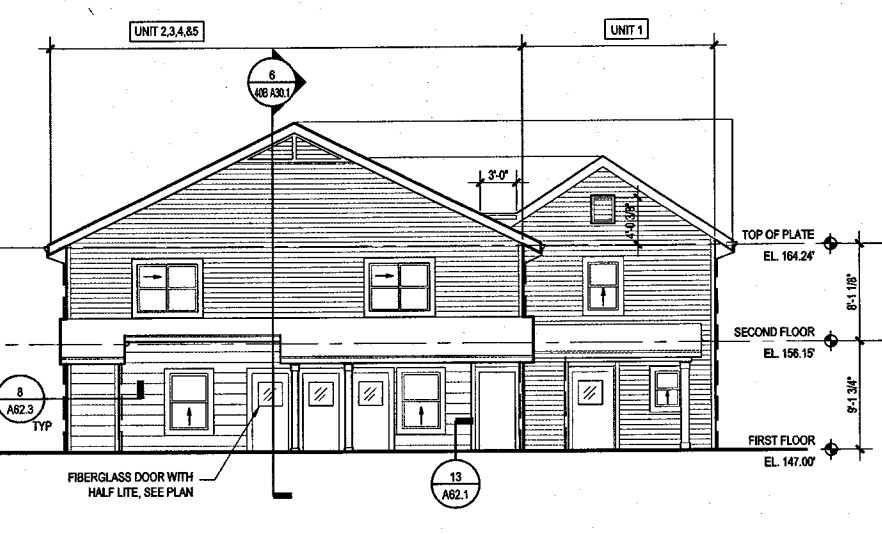
**6 BLDG 40-B - SECTION - FACING EAST**  
SCALE: 1/8" = 1'-0" BV-BE-43.dwg



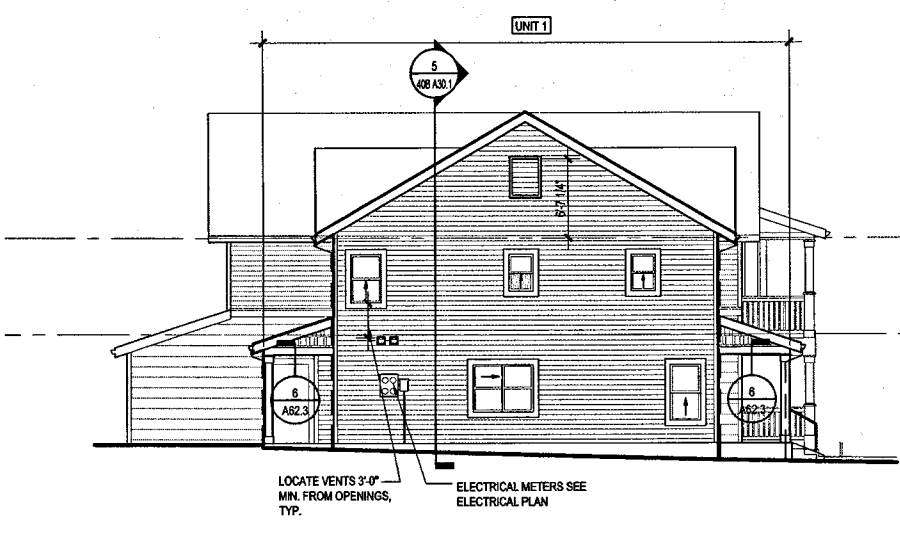
**5 BLDG 40-B - SECTION - FACING SOUTH**  
SCALE: 1/8" = 1'-0" BV-BE-43.dwg



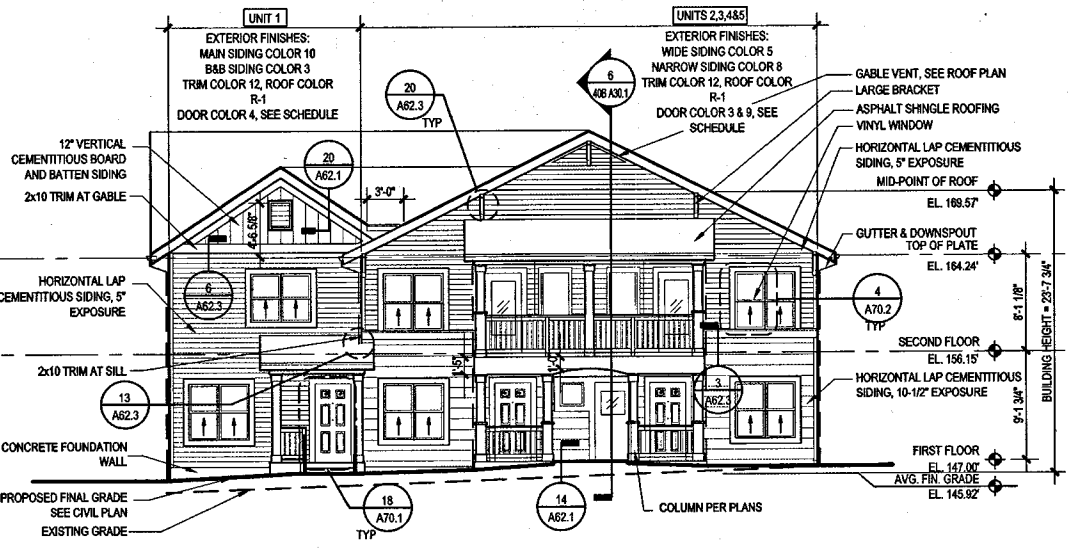
**4 BLDG 40-B - EAST ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-43.dwg



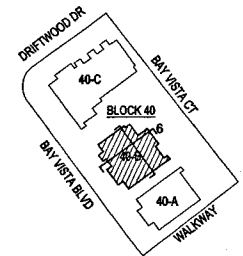
**3 BLDG 40-B - NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-43.dwg



**2 BLDG 40-B - WEST ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-43.dwg



**1 BLDG 40-B - SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-43.dwg





**BAY VISTA WEST**

**Tonkin / Hoynes**  
*Architecture & Urban Design*

**OWNER/DEVELOPER**  
BREMERSON HOUSING AUTHORITY  
4040 WHEATON WAY  
BREMERSON, WA 98310  
(360) 616-7190

**ARCHITECT**  
TONKIN / HOYNES PS  
204 FIRST AVENUE SOUTH  
SEATTLE, WA 98104  
(206) 624-7880

**CIVIL ENGINEER**  
BCRA ENGINEERING  
2106 PACIFIC AVENUE, SUITE 300  
TACOMA, WA 98402  
(253) 627-4367

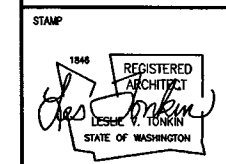
**LANDSCAPE ARCHITECT**  
BERGER PARTNERSHIP PS  
1721 8TH AVENUE NORTH  
SEATTLE, WA 98109  
(206) 325-6877

**STRUCTURAL ENGINEER**  
MICHAEL KOUWENS  
STRUCTURAL CONSULTANTS  
17529 TENTH AVENUE NW  
SHORELINE, WA 98177  
(206) 546-8446

**MECHANICAL ENGINEER**  
PRESSLER ENGINEERING, INC.  
18702 NORTH CREEK PKWY, SUITE 213  
BOHELL, WA 98011  
(425) 485-3002

**ELECTRICAL ENGINEER**  
TRES WEST ENGINEERS, INC.  
2702 SOUTH 42ND STREET, SUITE 301  
TACOMA, WA 98409  
(253) 472-3300

**CONTRACTOR**  
WALSH CONSTRUCTION CO.  
509 FAIRVIEW AVENUE NORTH  
SEATTLE, WA 98109  
(206) 547-4008



**FOR PERMIT ONLY**  
THIS DOCUMENT HAS BEEN PREPARED FOR THE PERMIT APPLICANT AND IS SUBJECT TO REVIEW AND MODIFICATIONS BY GOVERNMENT AGENCIES

**DRAWING ISSUE**  
PERMIT SET: 03-07-10  
BID SET: 04-07-11

**DRAWING TITLE**  
BLDG 40-C - ELEVATIONS AND SECTIONS

SCALE: 1/8" = 1'-0"  
PLOT DATE: 05/28/2011  
CAD FILE: BVN-40C-A3001  
PROJ. MGR.: MM/PPM  
DRAFTER: LC

SHEET NO.

**40C A30.1**

- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
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  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

**LEGEND:**

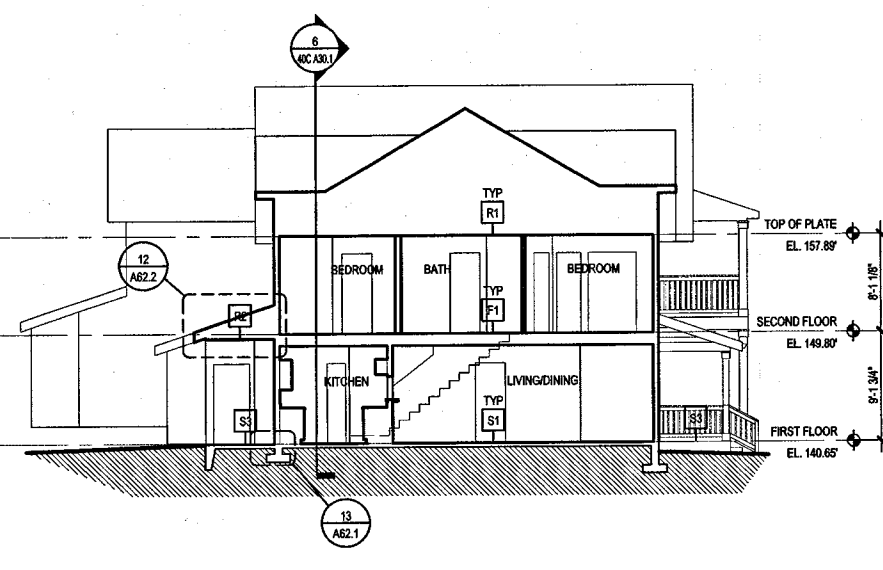
EXISTING GRADE \_\_\_\_\_

FINISH GRADE \_\_\_\_\_

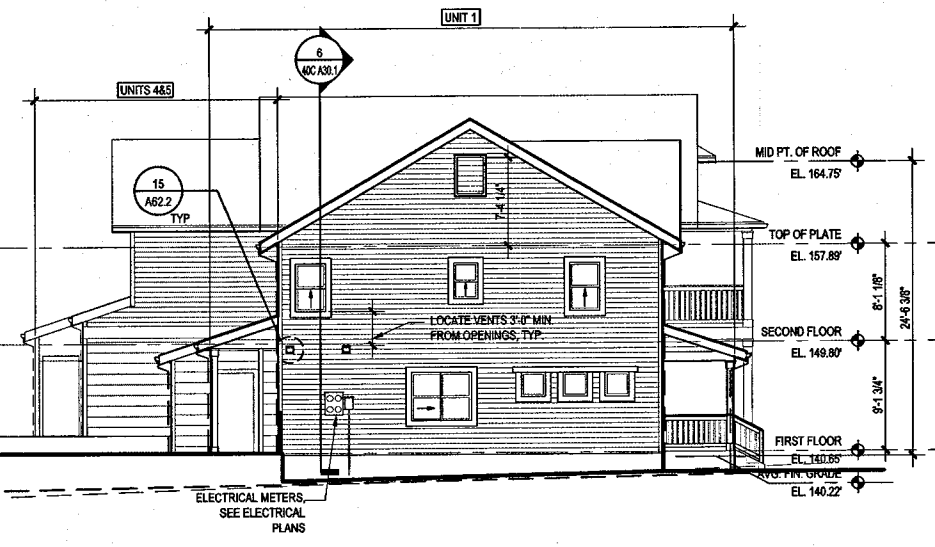
COLOR	ROOF COLOR (PAPCO PREMIER)	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN/165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (IPP/73); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP/38); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R/79); SW6314
		5	POLISHED MAHOGANY (EPP/27); SW2838
		6	TEAL STENCIL (IFP/20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G/32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (IPP/27); SW0051
		11	VOGUE GREEN (IPP/71); SW0065
		12	ARCADE WHITE (M1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

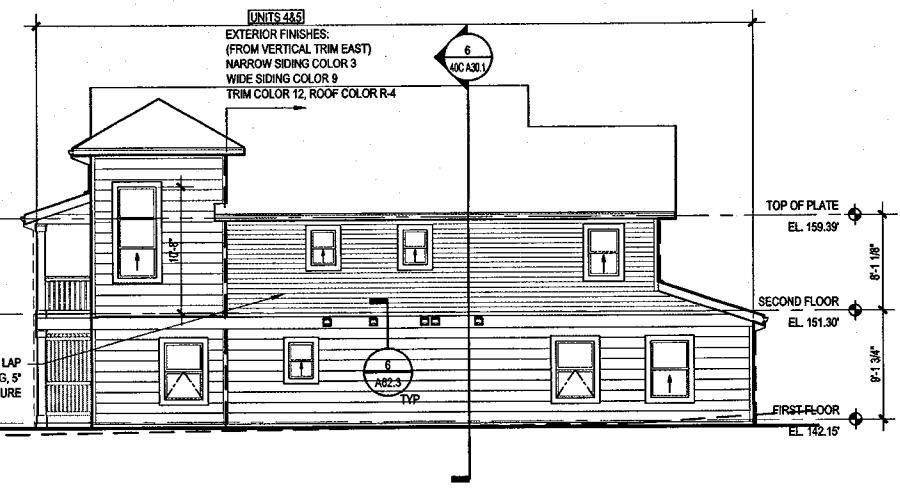
	FRONT ENTRY	DECK	REAR	STORAGE (INCL. TRIM)
UNIT 1	COLOR: 5	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING
UNIT 2	COLOR: 1	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING
UNIT 3	COLOR: 1	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING
UNIT 4	COLOR: 10	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING
UNIT 5	COLOR: 6	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING



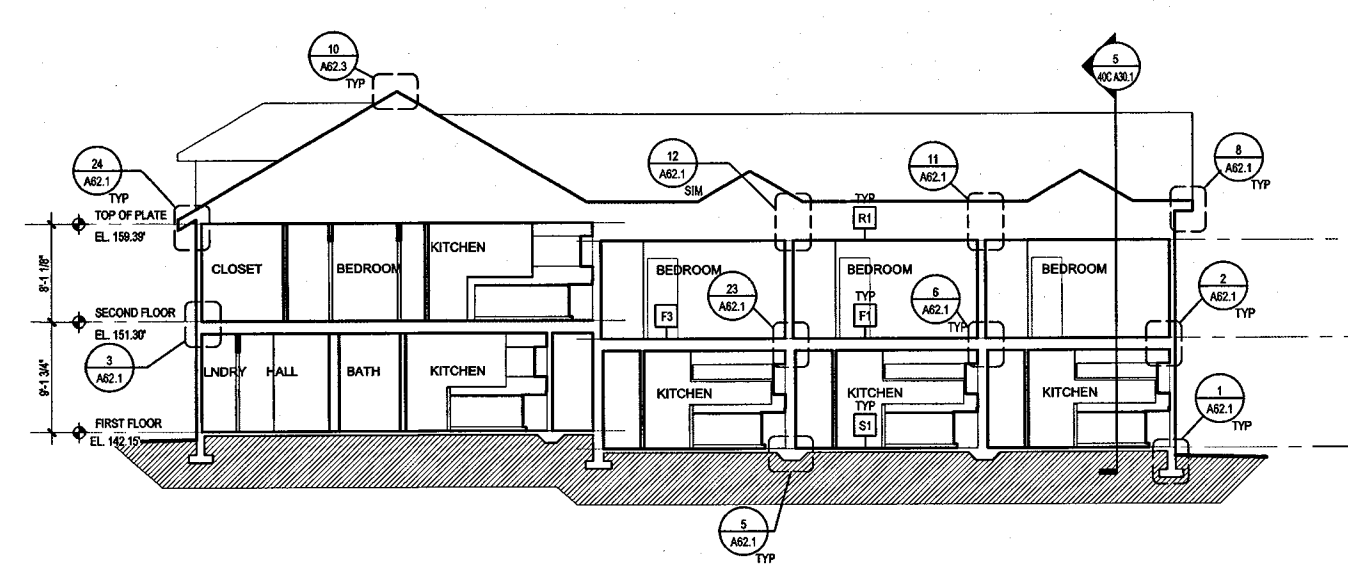
**5 BLDG 40-C - SECTION - FACING SOUTH**  
SCALE: 1/8" = 1'-0" BV-BE-47.dwg



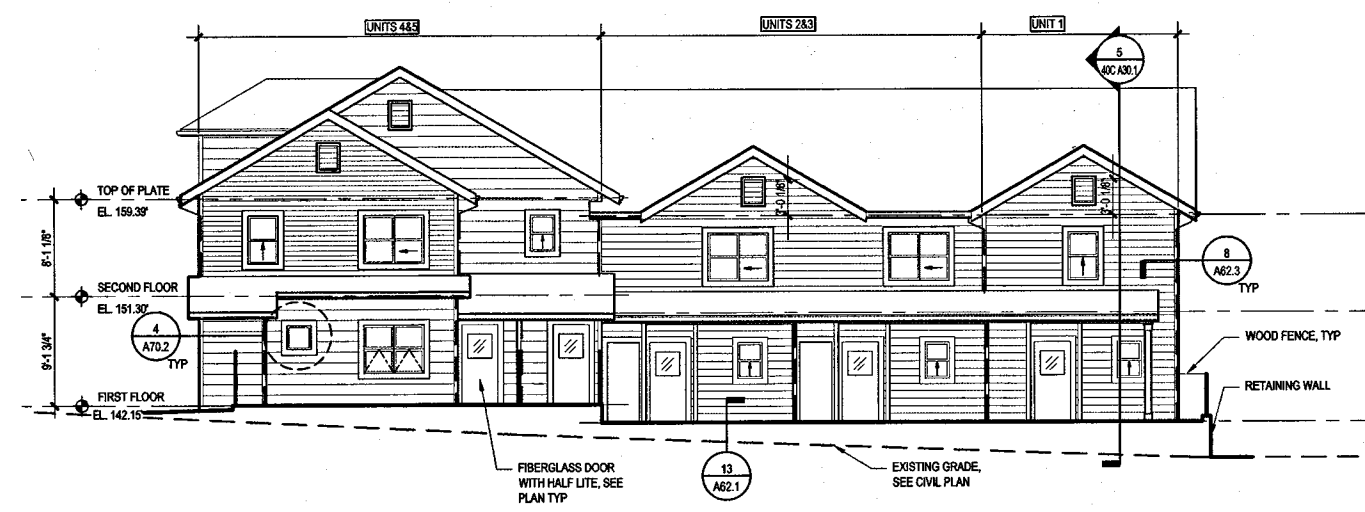
**3 BLDG 40-C NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-47.dwg



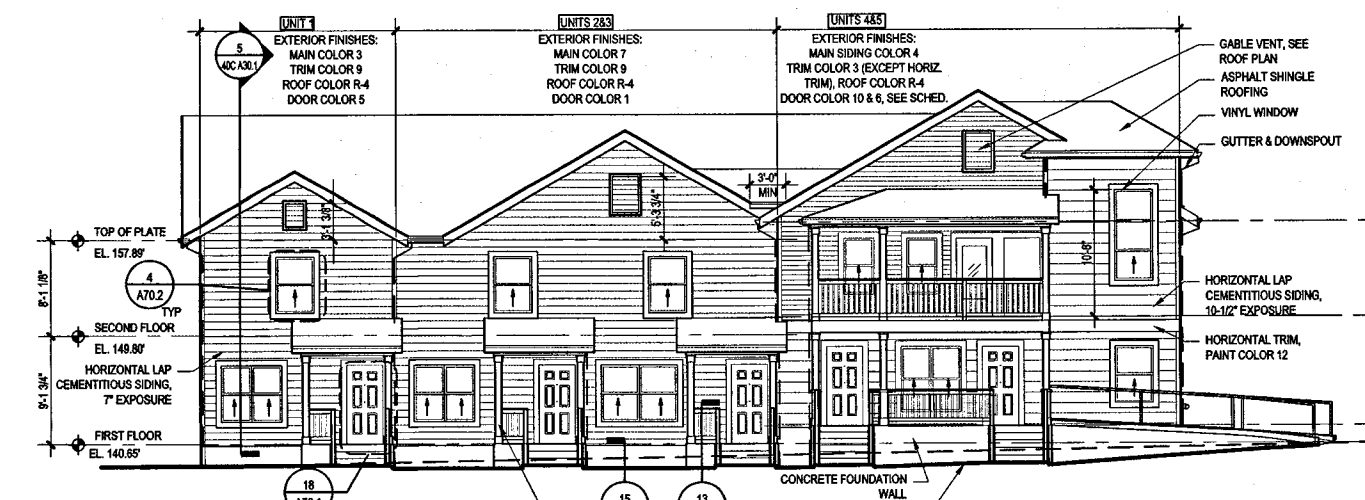
**1 BLDG 40-C SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-47.dwg



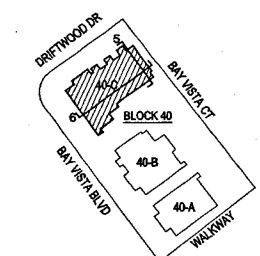
**6 BLDG 40-C - SECTION - FACING WEST**  
SCALE: 1/8" = 1'-0" BV-BE-47.dwg

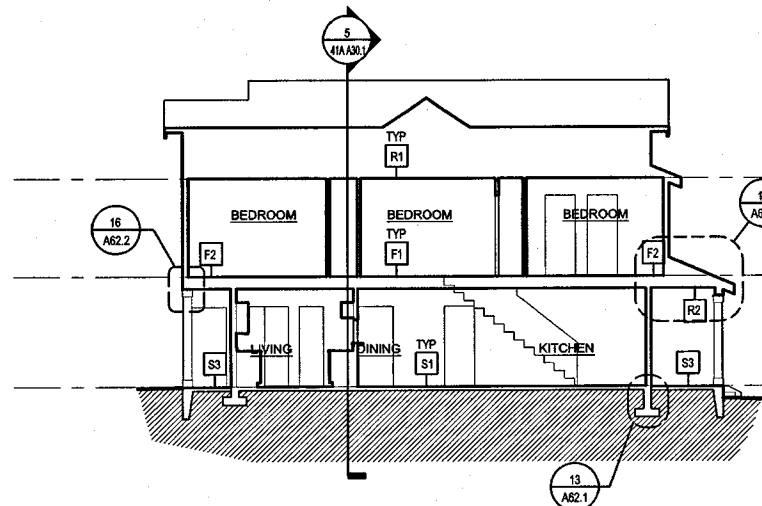


**4 BLDG 40-C EAST ELEVATION**  
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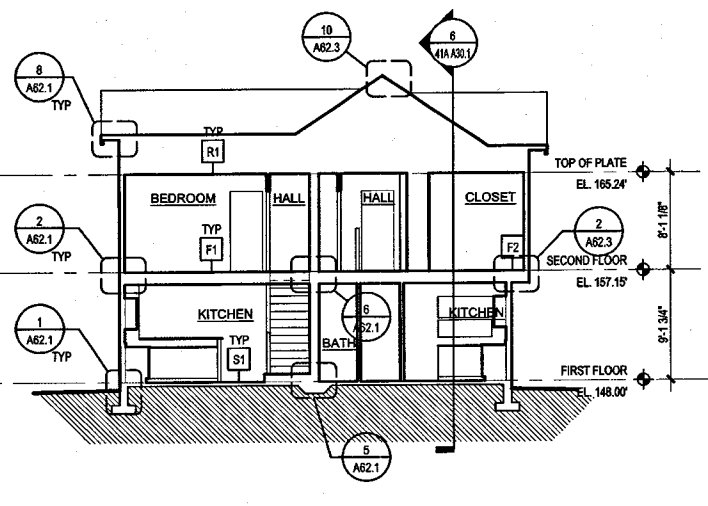


**2 BLDG 40-C WEST ELEVATION**  
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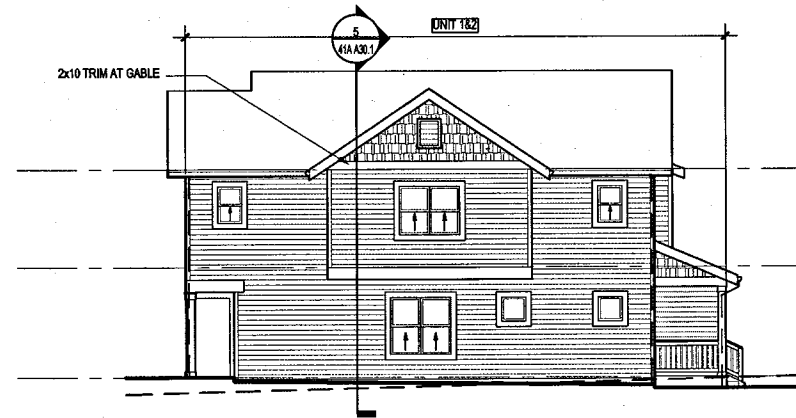




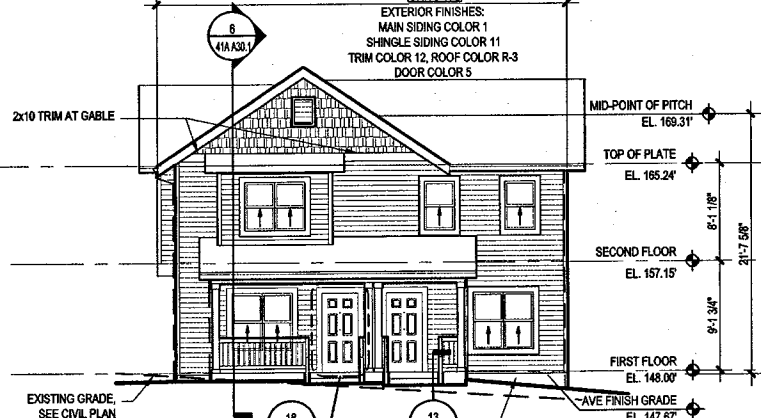
6 BLDG 41A - SECTION - LOOKING WEST  
SCALE: 1/8" = 1'-0"  
BV-BE-39



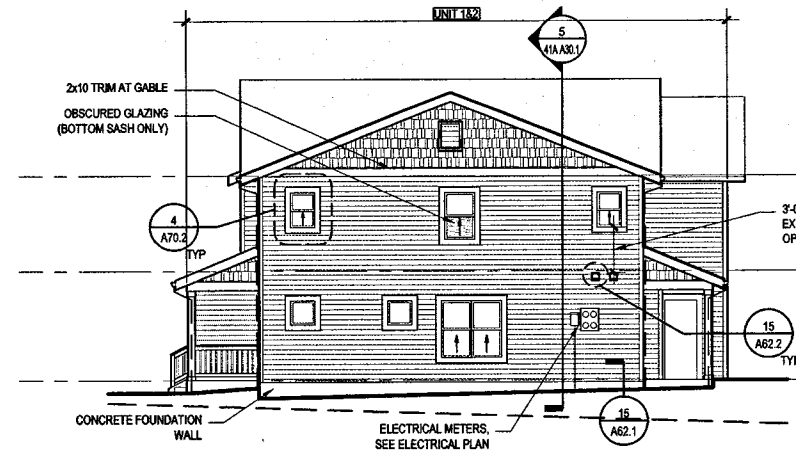
5 BLDG 41A - SECTION - LOOKING NORTH  
SCALE: 1/8" = 1'-0"  
BV-BE-39



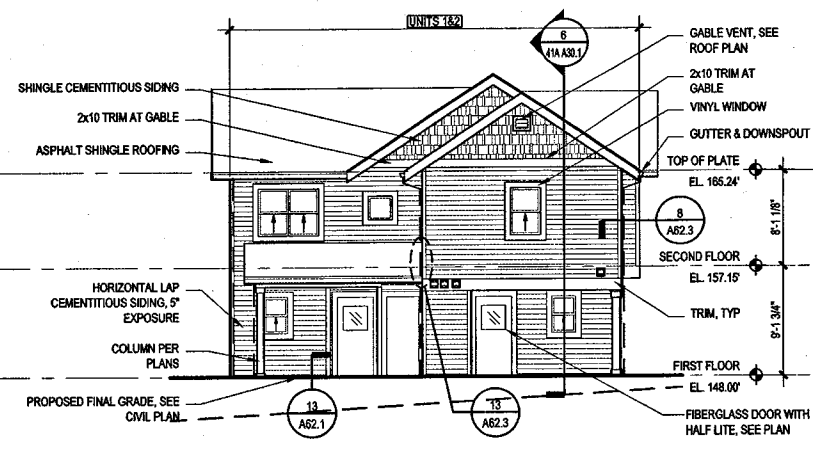
4 BLDG 41A - EAST ELEVATION  
SCALE: 1/8" = 1'-0"  
BV-BE-39



3 BLDG 41A - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"  
BV-BE-39



2 BLDG 41A - WEST ELEVATION  
SCALE: 1/8" = 1'-0"  
BV-BE-39



1 BLDG 41A - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"  
BV-BE-39

- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
  - STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
  - COLOR IS UNIFORM PER UNIT FOR FASCIA, DOOR TRIM, WINDOW TRIM, GARAGE DOORS, COLUMNS, RAILINGS, BRACKETS AND ALL OTHER EXTERIOR TRIMS, UNO. FRONT DOOR COLORS ARE NOTED SEPARATELY; SEE ELEVATIONS.
  - ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
  - ALL EXTERIOR TRIM TO BE FIBER CEMENT BOARD U.N.O. IN SIZES INDICATED.
  - ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15/A62.2.
  - PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

**LEGEND:**

EXISTING GRADE \_\_\_\_\_

FINISH GRADE \_\_\_\_\_

COLOR (PAPCO PREMIER)	ROOF COLOR	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (PP773); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP738); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R79); SW6314
		5	POLISHED MAHOGANY (EPP727); SW2838
		6	TEAL STENCIL (PP720); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (PP727); SW0051
		11	VOGUE GREEN (PP717); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

	FRONT ENTRY	DECK	REAR	STORAGE (INCL TRIM)
UNIT 1	COLOR: 5	MATCH FRONT ENTRY SIDING	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 5	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



**Tonkin / Hoyne**  
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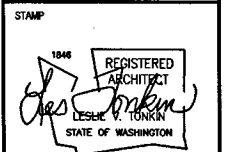
**LANDSCAPE ARCHITECT**  
BERGER PARTNERSHIP PS  
1721 8TH AVENUE NORTH  
SEATTLE, WA 98109  
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TRES WEST ENGINEERS, INC.  
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**CONTRACTOR**  
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509 FAIRVIEW AVENUE NORTH  
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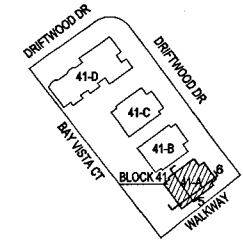
**DRAWING ISSUE**  
PERMIT SET: 01-27-11  
BID SET: 04-07-11

**DRAWING TITLE**  
BLDG 41A - ELEVATIONS AND SECTIONS

SCALE: 1/8" = 1'-0"  
PLOT DATE: 05/28/2011  
CAD FILE: BVW-41A-A3001  
PROJ. MGR: MM/PPM  
DRAFTER: HH

SHEET NO.

41A A30.1





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2106 PACIFIC AVENUE, SUITE 300  
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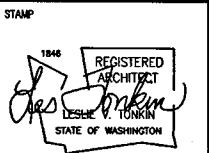
LANDSCAPE ARCHITECT  
BERGER PARTNERSHIP PS  
1721 8TH AVENUE NORTH  
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DRAWING ISSUE  
PERMIT SET: 01-27-11  
BID SET: 04-07-11

DRAWING TITLE  
BLDG 41-B -  
ELEVATIONS AND  
SECTIONS

SCALE: 1/8"=1'-0"  
PLOT DATE: 05/28/2011  
CAD FILE: BVW-41B-A3001  
PROJ. MGR.: MM/PPM  
DRAFTER: HH

SHEET NO.

41B A30.1

ELEVATION NOTES:

- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
- SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
- CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
- TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
- DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
- STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
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- ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
- ALL EXTERIOR TRIM TO BE FIBER CEMENT BOARD U.N.O. IN SIZES INDICATED
- ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15/A62.2.
- PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
- EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
- STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

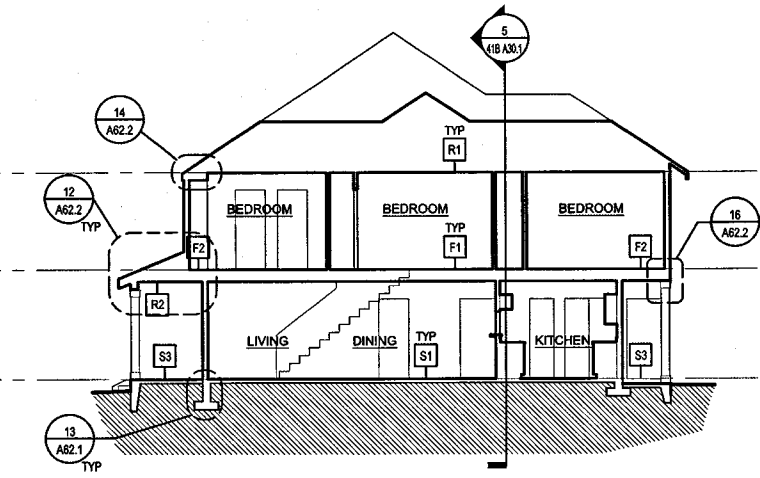
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EXISTING GRADE -----

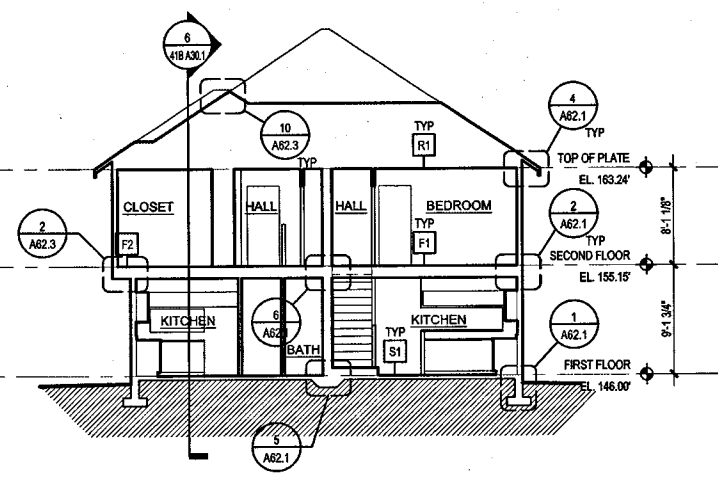
FINISH GRADE \_\_\_\_\_

COLOR	ROOF COLOR (PAPCO PREMIER)	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN/165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (IPP/73); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP/38); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R/79); SW6314
		5	POLISHED MAHOGANY (EPP/27); SW2838
		6	TEAL STENCIL (IPP/20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G/32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (IPP/27); SW0051
		11	VOGUE GREEN (IPP/71); SW0065
		12	ARCADE WHITE (H1); SW7100

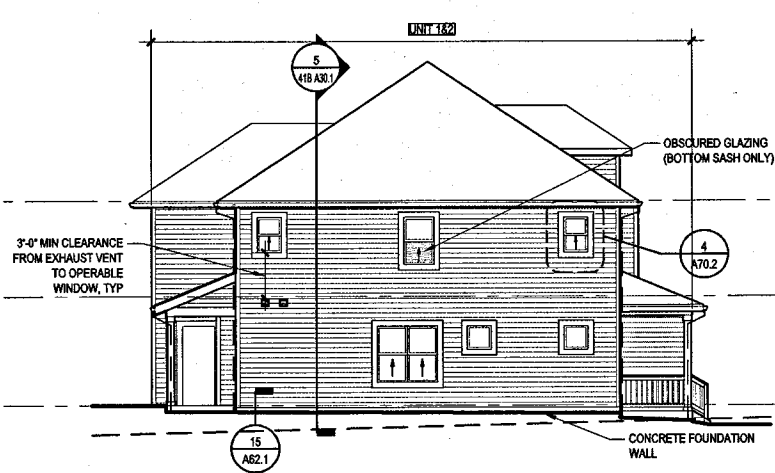
EXTERIOR DOOR PAINT COLOR SCHEDULE				
	FRONT ENTRY	DECK	REAR	STORAGE (INCL. TRIM)
UNIT 1	COLOR: 11	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 11	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



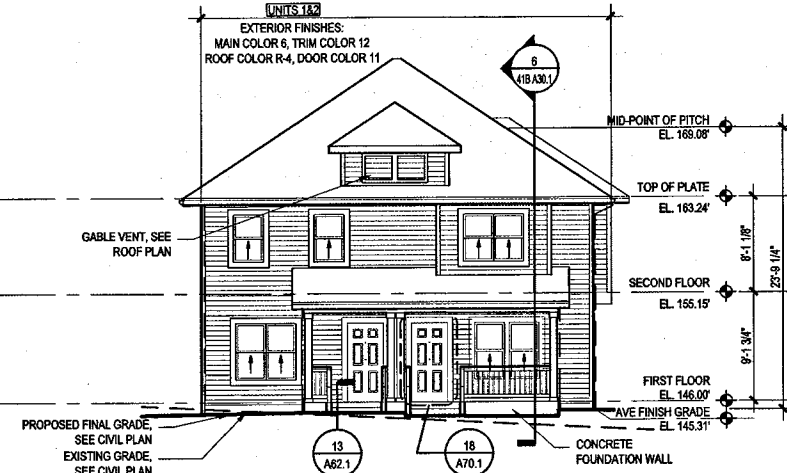
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SCALE: 1/8" = 1'-0" BV-BE-39



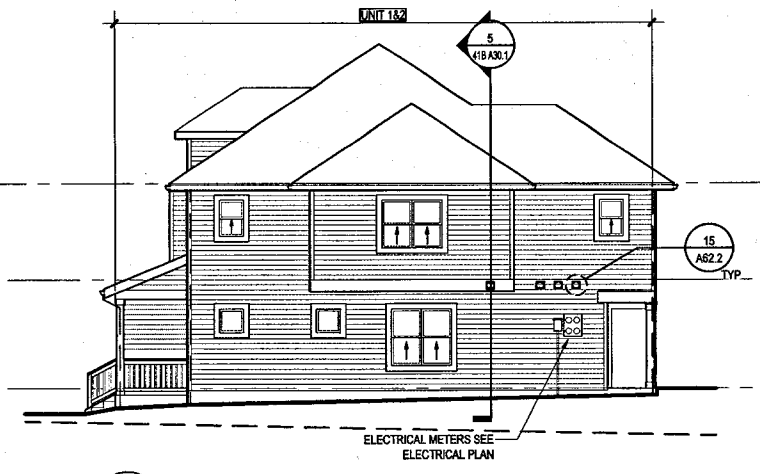
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SCALE: 1/8" = 1'-0" BV-BE-39



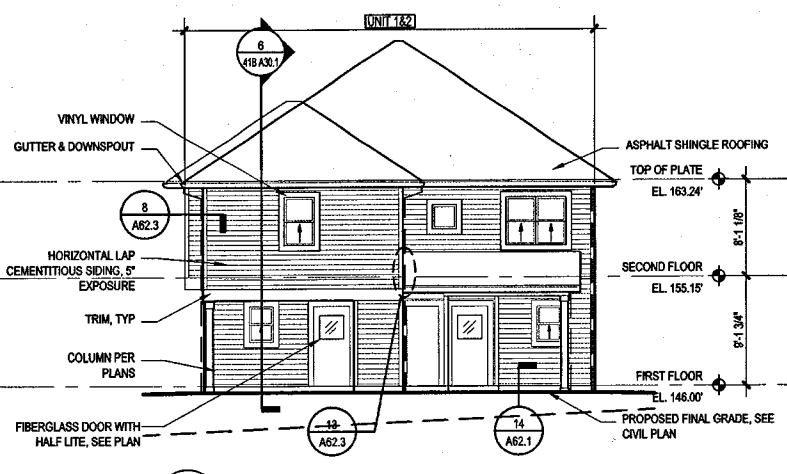
4 BLDG 41B - EAST ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



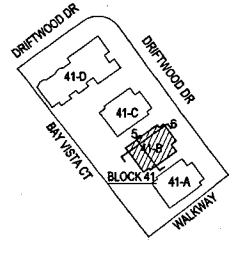
3 BLDG 41B - NORTH ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



2 BLDG 41B - WEST ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



1 BLDG 41B - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39





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2106 PACIFIC AVENUE, SUITE 300  
TACOMA, WA 98402  
(253) 627-4367

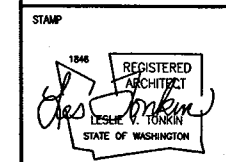
**LANDSCAPE ARCHITECT**  
BERGER PARTNERSHIP PS  
1721 8TH AVENUE NORTH  
SEATTLE, WA 98109  
(206) 325-9877

**STRUCTURAL ENGINEER**  
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STRUCTURAL CONSULTANTS  
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TRES WEST ENGINEERS, INC.  
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**CONTRACTOR**  
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SEATTLE, WA 98109  
(206) 547-4008



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**DRAWING ISSUE**  
PERMIT SET: 01-27-11  
BID SET: 04-07-11

**DRAWING TITLE**  
BLDG 41-C - ELEVATIONS AND SECTIONS

SCALE: PLOT DATE: 05/26/2011  
CAD FILE: BVW-41C-A3001  
PROJ. MGR.: MM/PPM  
DRAFTER: HH

SHEET NO.

**41C A30.1**

- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
  - STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
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  - ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
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  - ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15/A62.2.
  - PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

**LEGEND:**

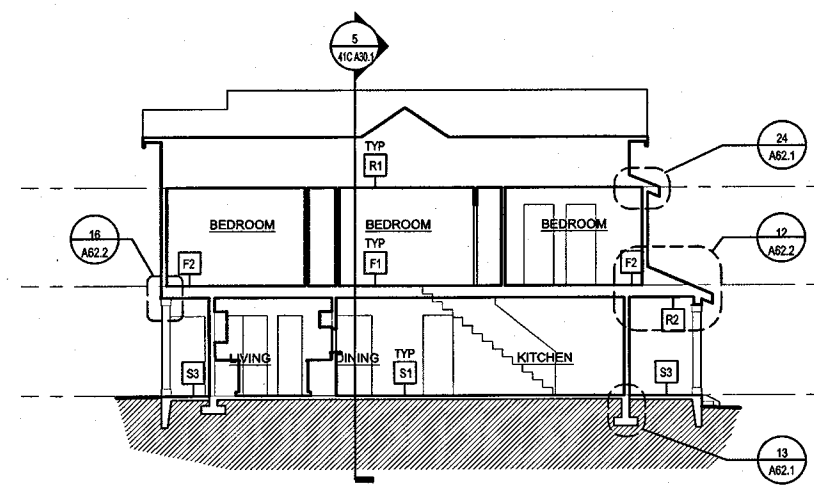
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FINISH GRADE \_\_\_\_\_

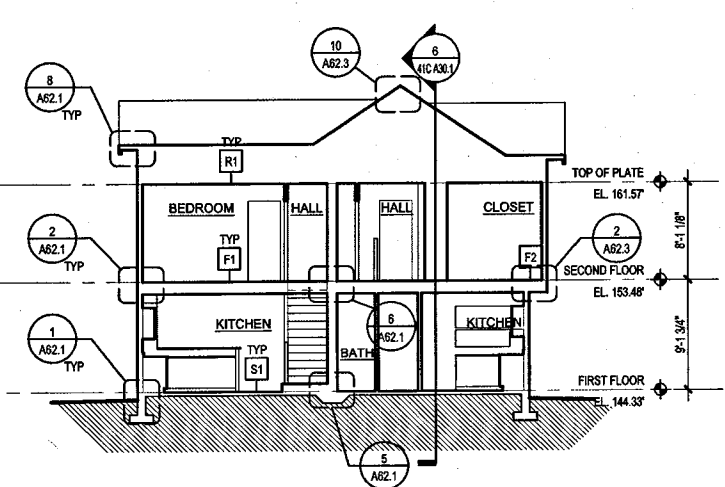
COLOR	ROOF COLOR	COLOR	COLOR NAME
	(PAPCO PREMIER)		(SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN/165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (IPP/73); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP/38); SW2840
R-4	WEATHERED WOOD	4	LUXURIOUS RED (R-V/R/79); SW6314
		5	POLISHED MAHOGANY (EPP/27); SW2838
		6	TEAL STENCIL (IPP/20); SW0018
		7	SPICED CIDER (CIC); SW7702
		8	EDGY GOLD (Y-G/G/32); SW6409
		9	MANOR HOUSE (CIC); SW7505
		10	CLASSIC IVORY (IPP/27); SW0051
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		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

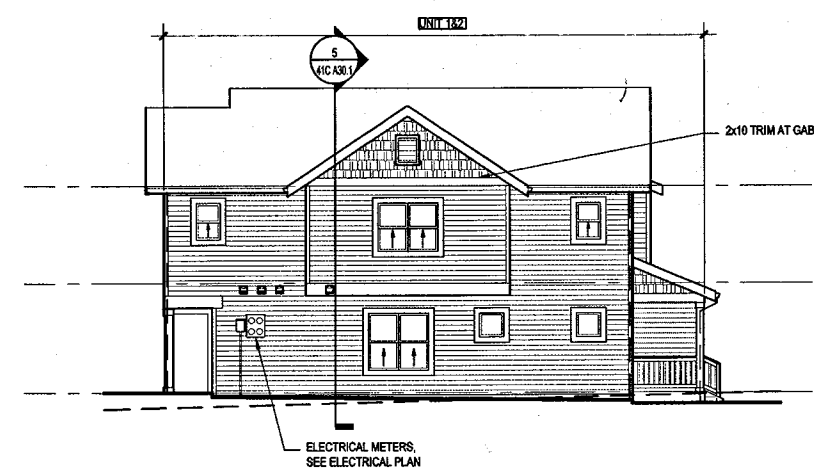
	FRONT ENTRY	DECK	REAR	STORAGE (INCL TRIM)
UNIT 1	COLOR: 8	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 8	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



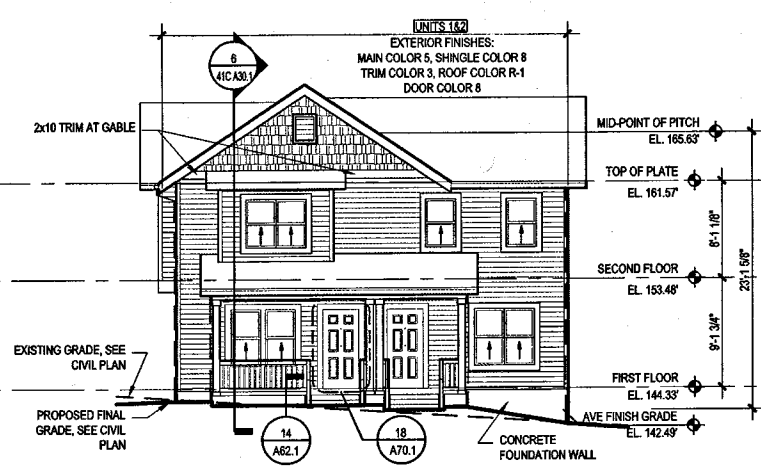
**6 BLDG 41C - SECTION - FACING WEST**  
SCALE: 1/8" = 1'-0"  
xxx.dwg



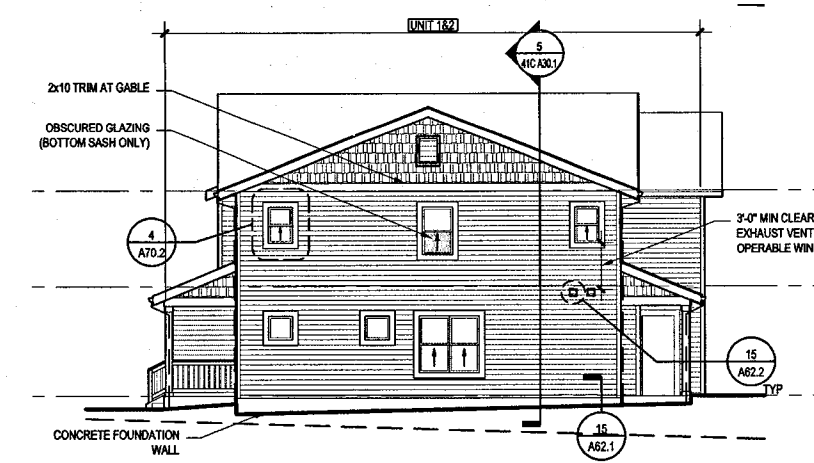
**5 BLDG 41C - SECTION - FACING NORTH**  
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xxx.dwg



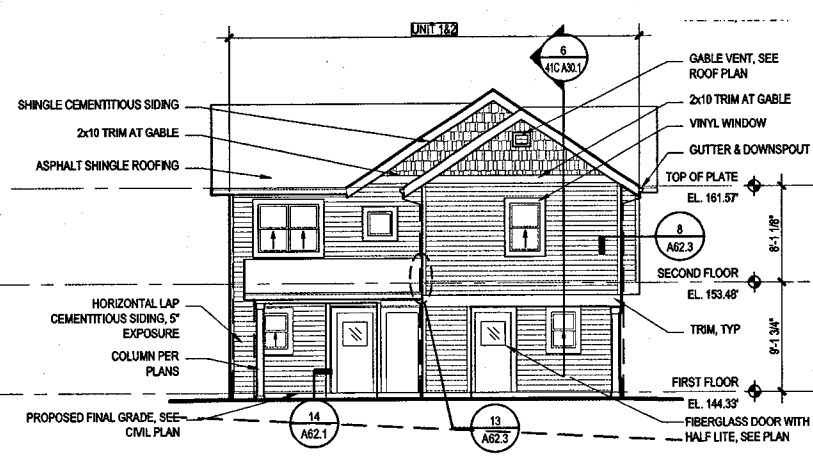
**4 BLDG 41C - EAST ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-39



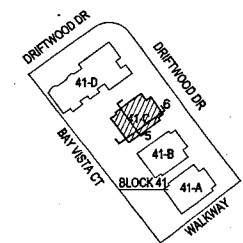
**3 BLDG 41C - NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"  
BP99.dwg



**2 BLDG 41C - WEST ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-39



**1 BLDG 41C - SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-39





BAY VISTA WEST

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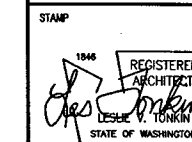
LANDSCAPE ARCHITECT  
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1721 8TH AVENUE NORTH  
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DRAWING ISSUE  
PERMIT SET: 01-27-11  
BID SET: 04-07-11

DRAWING TITLE  
BLDG 41-D-  
ELEVATIONS AND  
SECTIONS

SCALE: 1/4"=1'-0"  
PLOT DATE: 05/28/2011  
CAD FILE: BVW-41D-A3001  
PROJ. MGR.: MM/PPM  
DRAFTER: HH

SHEET NO.

41D A30.1

NOT FOR CONSTRUCTION

ELEVATION NOTES:

- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
- SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
- CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
- TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
- DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
- STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
- COLOR IS UNIFORM PER UNIT FOR FASCIA, DOOR TRIM, WINDOW TRIM, GARAGE DOORS, COLUMNS, RAILINGS, BRACKETS AND ALL OTHER EXTERIOR TRIMS, UNO. FRONT DOOR COLORS ARE NOTED SEPARATELY; SEE ELEVATIONS.
- ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
- ALL EXTERIOR TRIM TO BE FIBER CEMENT BOARD U.N.O. IN SIZES INDICATED.
- ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15A02.2.
- PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
- EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
- STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

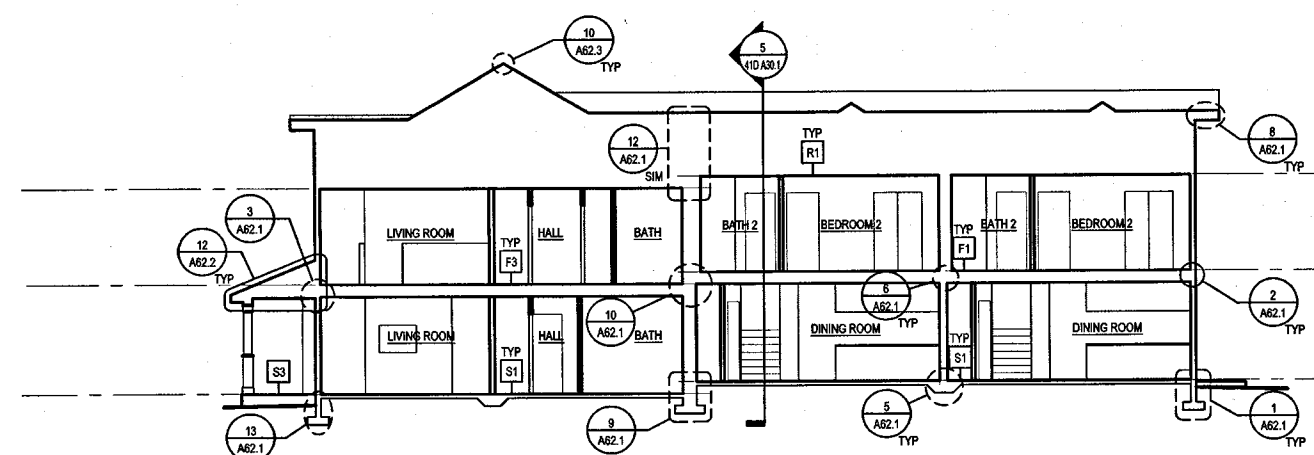
LEGEND:

- EXISTING GRADE
- FINISH GRADE

COLOR (PAPCO PREMIER)	ROOF COLOR	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN/165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (PP/73); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP/38); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-VI/79); SW6314
		5	POLISHED MAHOGANY (EPP/27); SW2838
		6	TEAL STENCIL (FP/20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G/32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (PP/27); SW0051
		11	VOGUE GREEN (PP/71); SW0065
		12	ARCADE WHITE (H1); SW7100

EXTERIOR DOOR PAINT COLOR SCHEDULE

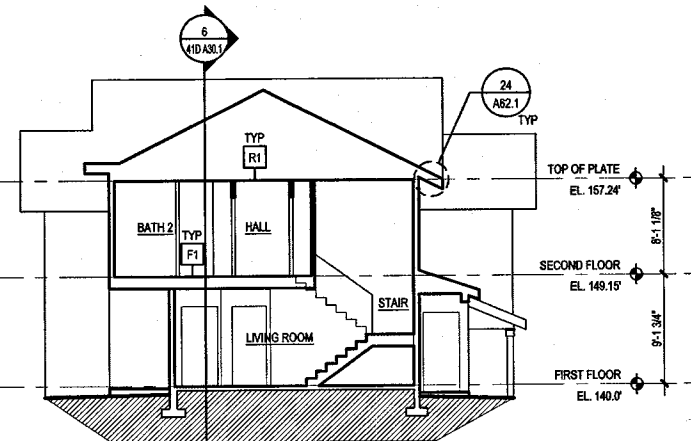
	FRONT ENTRY	DECK	REAR	STORAGE (INCL. TRIM)
UNIT 1	COLOR: 11	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING
UNIT 2	COLOR: 3	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING
UNIT 3	COLOR: 3	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING
UNIT 4	COLOR: 6	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING



6 BLDG 41-D - SECTION - LOOKING EAST

SCALE: 1/8" = 1'-0"

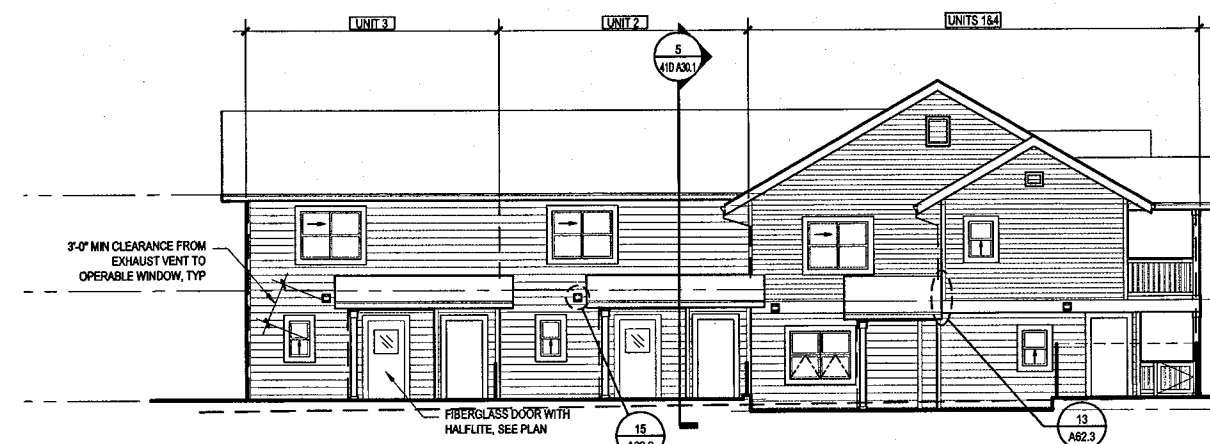
BV-BE-40



5 BLDG 41-D - SECTION - FACING NORTH

SCALE: 1/8" = 1'-0"

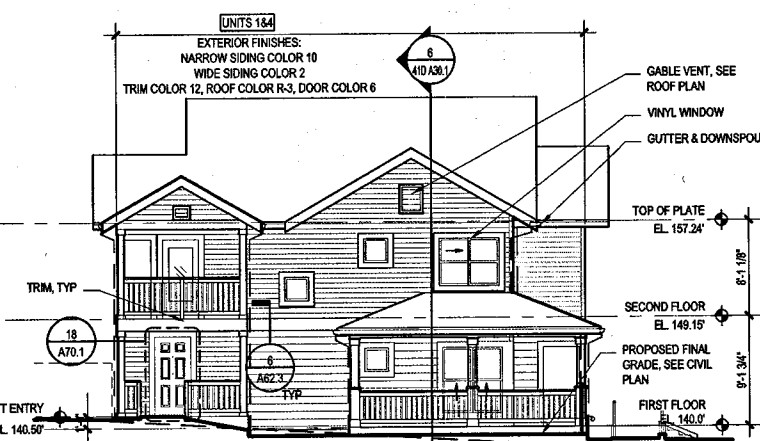
BV-BE-40



4 BLDG 41-D - EAST ELEVATION

SCALE: 1/8" = 1'-0"

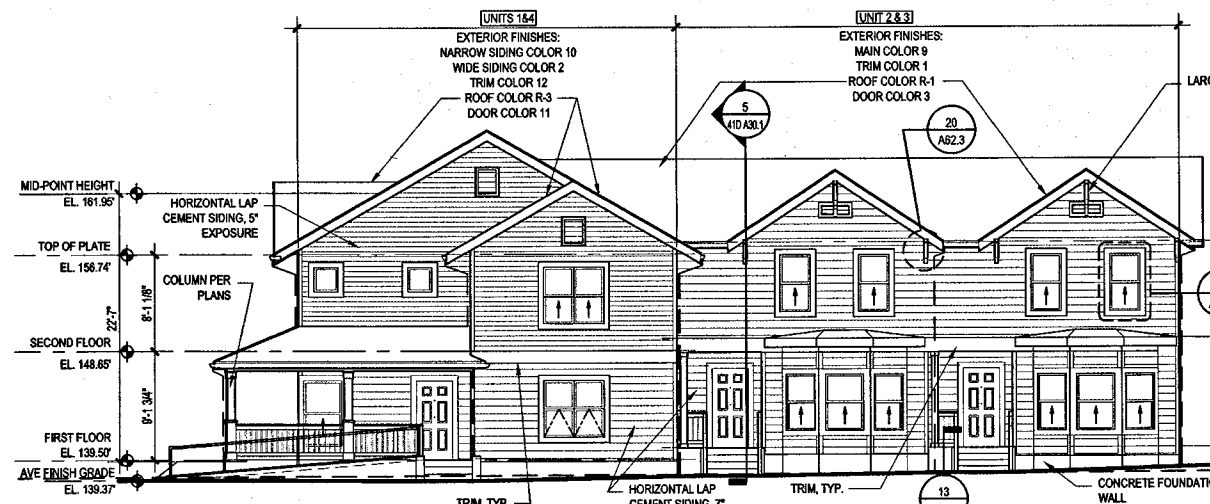
BV-BE-40



3 BLDG 41-D - NORTH ELEVATION

SCALE: 1/8" = 1'-0"

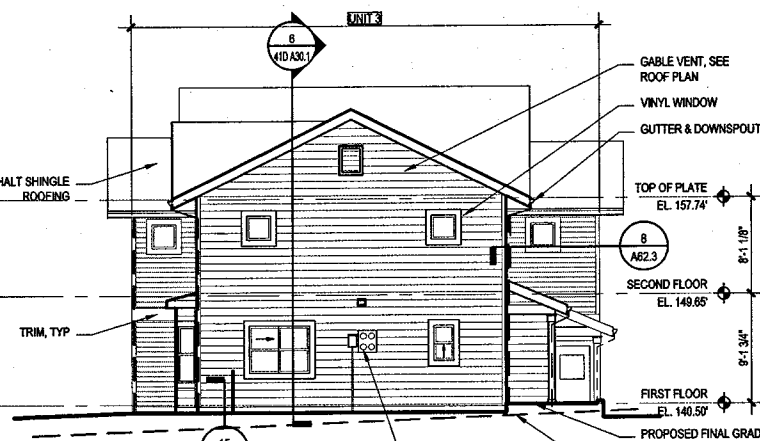
BV-BE-40



2 BLDG 41-D - WEST ELEVATION

SCALE: 1/8" = 1'-0"

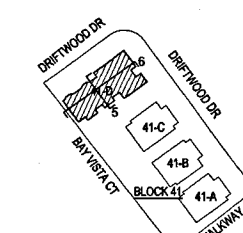
BV-BE-40



1 BLDG 41-D - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

BV-BE-40





BAY VISTA WEST

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OWNER/DEVELOPER  
BREMERTON HOUSING AUTHORITY  
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CIVIL ENGINEER  
BCRA ENGINEERING  
2105 PACIFIC AVENUE, SUITE 300  
TACOMA, WA 98402  
(253) 627-4367

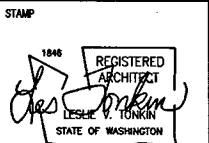
LANDSCAPE ARCHITECT  
BERGER PARTNERSHIP PS  
1721 8TH AVENUE NORTH  
SEATTLE, WA 98109  
(206) 325-6877

STRUCTURAL ENGINEER  
MICHAEL NOUWENS  
STRUCTURAL CONSULTANTS  
17529 TENTH AVENUE NW  
SHORELINE, WA 98147  
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TRES WEST ENGINEERS, INC.  
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TACOMA, WA 98409  
(253) 472-3300

CONTRACTOR  
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509 FAIRVIEW AVENUE NORTH  
SEATTLE, WA 98109  
(206) 547-4008



FOR PERMIT ONLY  
THIS DOCUMENT HAS BEEN PREPARED FOR  
PERMIT APPLICATION AND IS SUBJECT TO REVIEW  
AND MODIFICATIONS BY GOVERNMENT AGENCIES

DRAWING ISSUE  
PERMIT SET: 11-05-10  
BID SET: 04-07-11

DRAWING TITLE  
BLDG 45e-A -  
ELEVATIONS AND  
SECTIONS

SCALE: 1/8" = 1'-0"  
PLOT DATE: 05/26/2011  
CAD FILE: BVW-45e-A-A3001  
PROJ. MGR: MM/PPM  
DRAFTER: LCH/H

SHEET NO.  
45eA A30.1

- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
  - STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
  - COLOR IS UNIFORM PER UNIT FOR FASCIA, DOOR TRIM, WINDOW TRIM, GARAGE DOORS, COLUMNS, RAILINGS, BRACKETS AND ALL OTHER EXTERIOR TRIMS, UNO. FRONT DOOR COLORS ARE NOTED SEPARATELY; SEE ELEVATIONS.
  - ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
  - ALL EXTERIOR TRIM TO BE FIBER CEMENT BOARD U.N.O. IN SIZES INDICATED
  - ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15/A62.2.
  - PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

**LEGEND:**

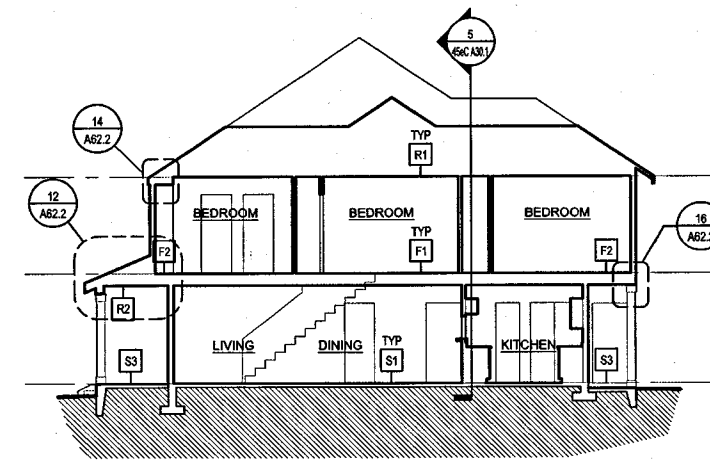
EXISTING GRADE \_\_\_\_\_

FINISH GRADE \_\_\_\_\_

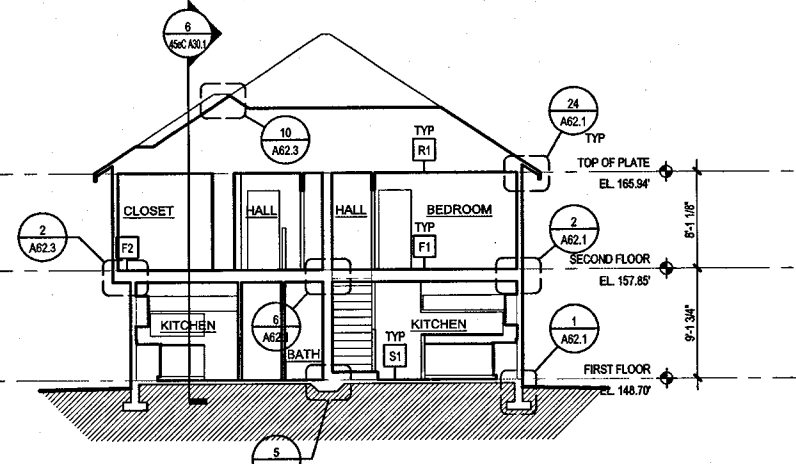
COLOR	ROOF COLOR	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (PP773); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP738); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R79); SW6314
		5	POLISHED MAHOGANY (EPP127); SW2838
		6	TEAL STENCIL (FPF20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (FPF127); SW0051
		11	VOGUE GREEN (FPF71); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

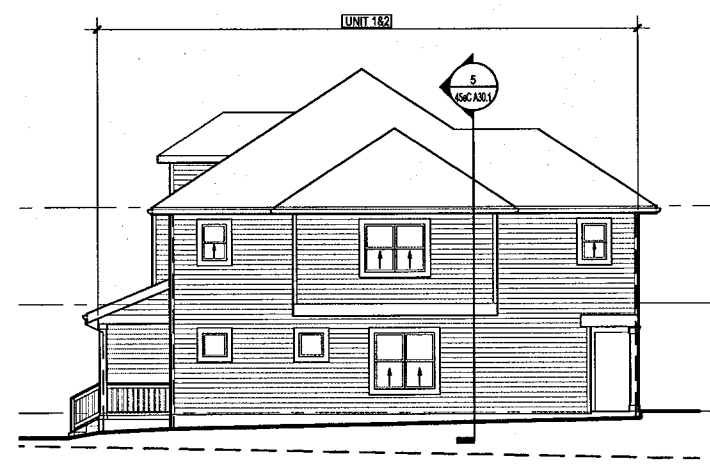
	FRONT ENTRY	DECK	REAR	STORAGE (INCL. TRIM)
UNIT 1	COLOR: 3	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 9	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



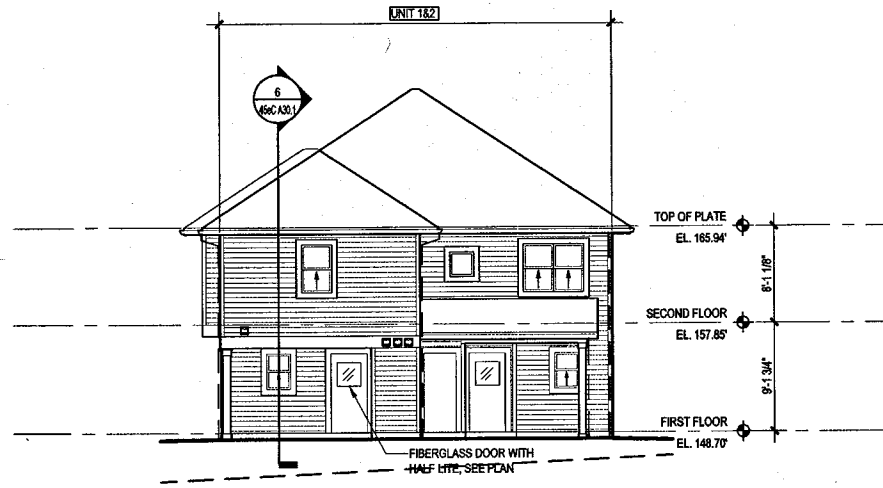
6 BLDG 45e-A - SECTION - LOOKING WEST  
SCALE: 1/8" = 1'-0" BV-BE-38.dwg



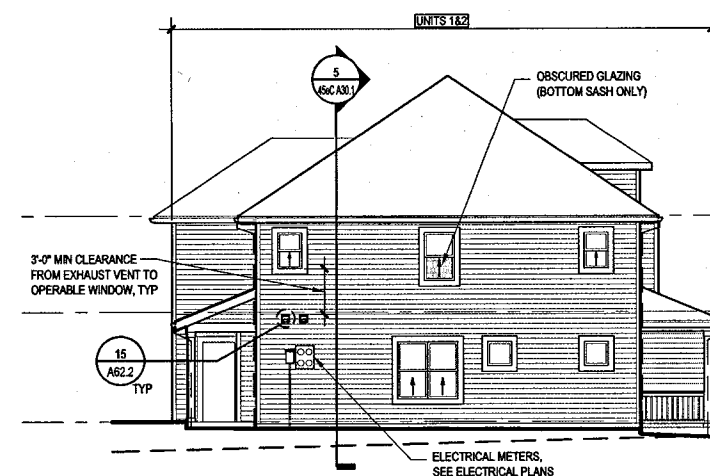
5 BLDG 45e-A - SECTION - LOOKING SOUTH  
SCALE: 1/8" = 1'-0" BV-BE-38.dwg



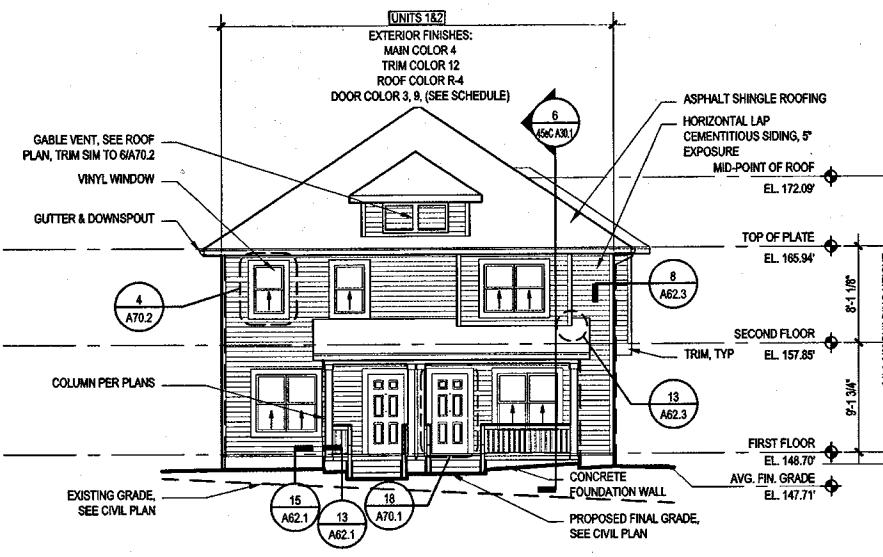
4 BLDG 45e-A - EAST ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



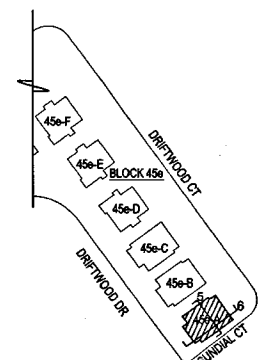
3 BLDG 45e-A - NORTH ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



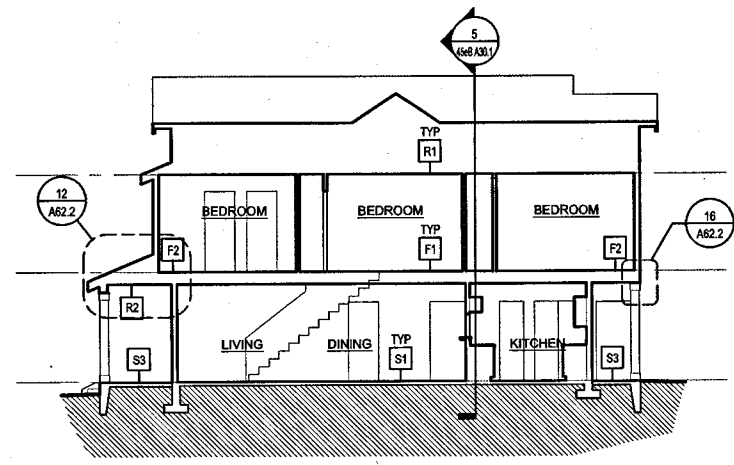
2 BLDG 45e-A - WEST ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



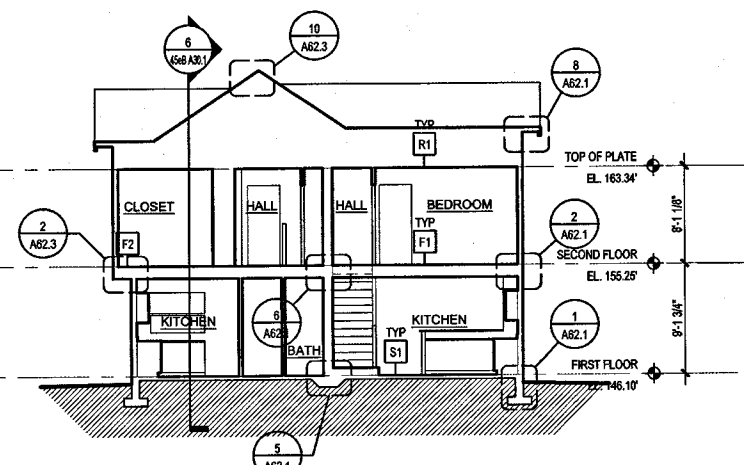
1 BLDG 45e-A - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



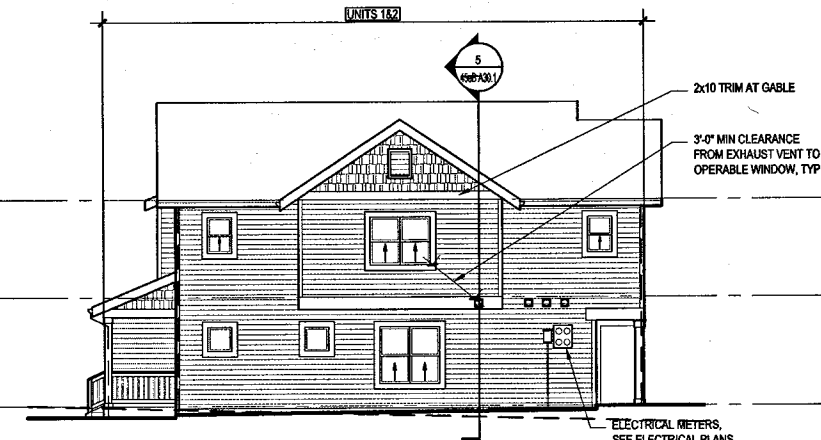




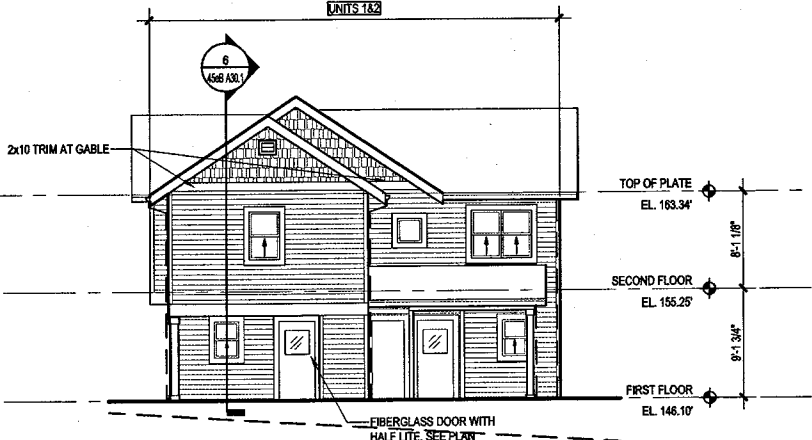
6 BLDG 45e-B - SECTION - LOOKING WEST  
SCALE: 1/8" = 1'-0" BV-BE-39



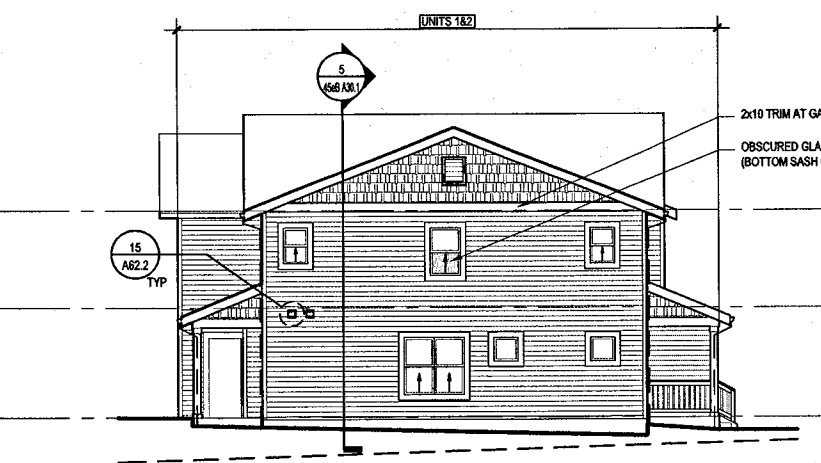
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SCALE: 1/8" = 1'-0" BV-BE-39



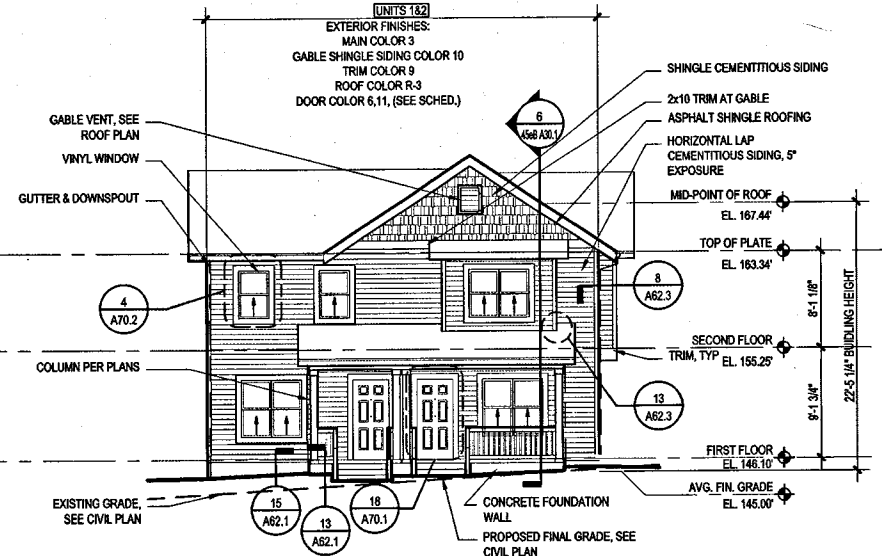
4 BLDG 45e-B - EAST ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



3 BLDG 45e-B - NORTH ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



2 BLDG 45e-B - WEST ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



1 45e-B - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39

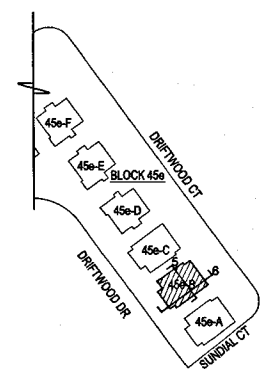
- ELEVATION NOTES:**
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  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
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  - STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
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  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

- LEGEND:**
- EXISTING GRADE \_\_\_\_\_
- FINISH GRADE \_\_\_\_\_

COLOR (PAPCO PREMIER)	ROOF COLOR	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (IPP73); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP38); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R79); SW6314
		5	POLISHED MAHOGANY (EPP27); SW2838
		6	TEAL STENCIL (IPP20); SW0018
		7	SPICED CIDER: SW7702
		8	EDGY GOLD (Y-G/G32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (PP27); SW0051
		11	VOGUE GREEN (PP71); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

	FRONT ENTRY	DECK	REAR	STORAGE (INCL. TRIM)
UNIT 1	COLOR: 6	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING
UNIT 2	COLOR: 11	MATCH FRONT ENTRY	MATCH ADJ. TRIM	MATCH ADJ. SIDING



**BAY VISTA WEST**

**Tonkin / Hoynes**  
Architecture & Urban Design

**OWNER/DEVELOPER**  
BREMERTON HOUSING AUTHORITY  
4040 WHEATON WAY  
BREMERTON, WA 98310  
(360) 616-7160

**ARCHITECT**  
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**CONTRACTOR**  
WALSH CONSTRUCTION CO.  
509 FAIRVIEW AVENUE NORTH  
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(206) 547-4008

**STAMP**  
1946 REGISTERED ARCHITECT  
T. J. TONKIN  
STATE OF WASHINGTON

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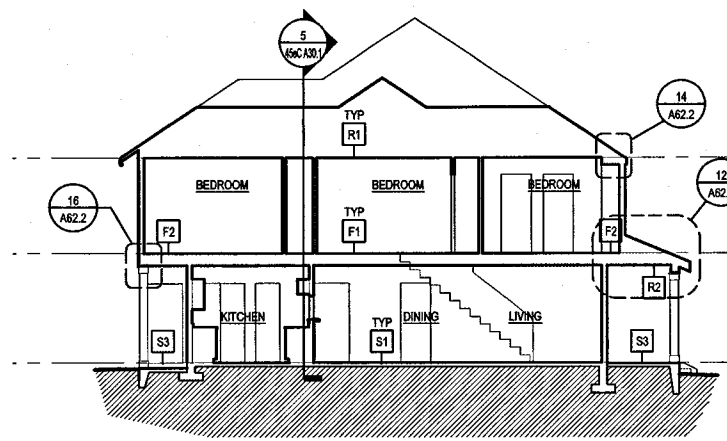
**DRAWING ISSUE**  
PERMIT SET: 11-05-10  
BID SET: 04-07-11

**DRAWING TITLE**  
BLDG 45e-B - ELEVATIONS AND SECTIONS

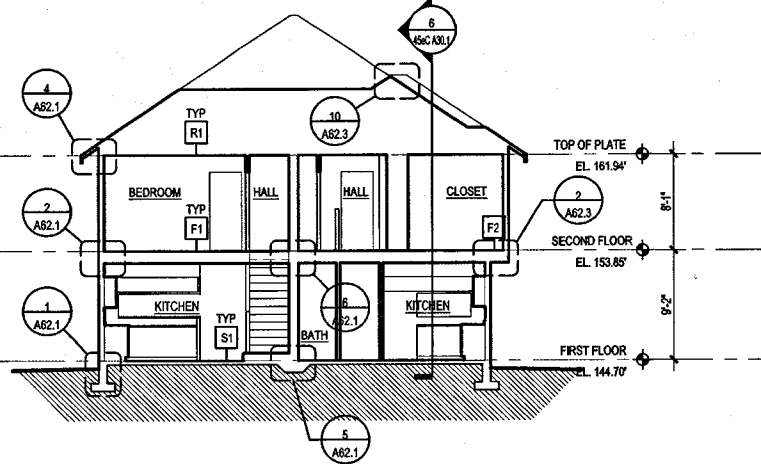
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**PLOT DATE:** 05/26/2011  
**CAD FILE:** BVW-45eB-A3001  
**PROJ. MGR.:** MM/PPM  
**DRAFTER:** LC/HH

**SHEET NO.**  
45eB A30.1

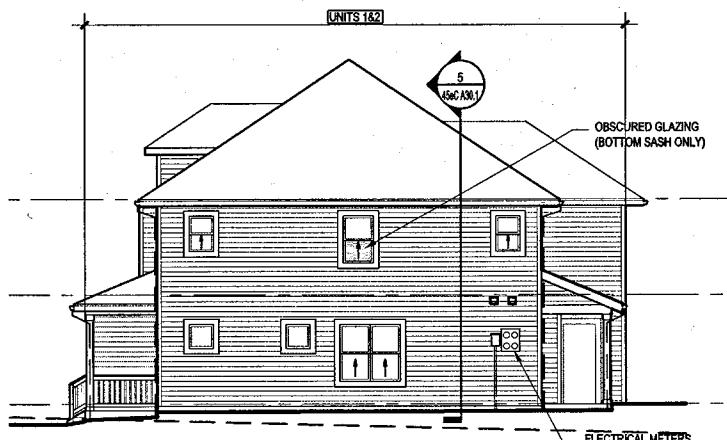
**TRUE NORTH**



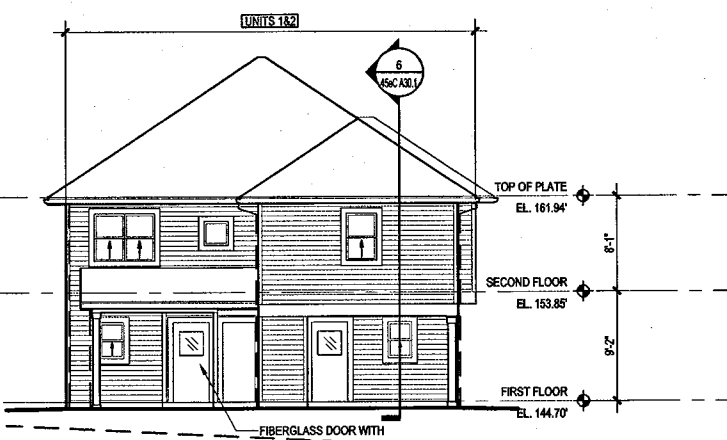
6 BLDG 45e-C - SECTION - LOOKING EAST  
SCALE: 1/8" = 1'-0" BV-BE-39



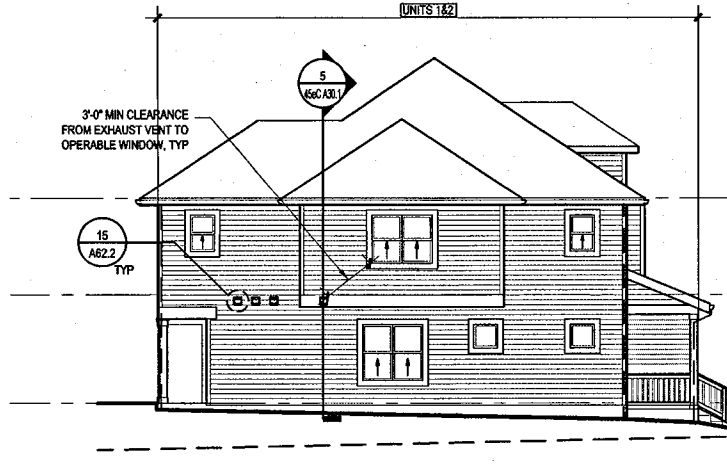
5 BLDG 45e-C - SECTION - LOOKING SOUTH  
SCALE: 1/8" = 1'-0" BV-BE-39



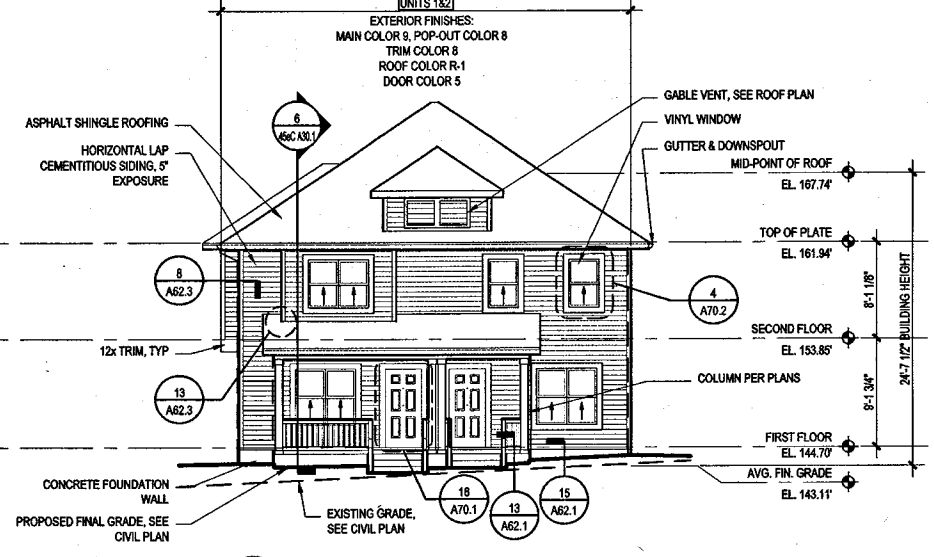
4 BLDG 45e-C - EAST ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



3 BLDG 45e-C - NORTH ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



2 BLDG 45e-C - WEST ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39



1 BLDG 45e-C - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-39

- ELEVATION NOTES:**
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  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

**LEGEND:**

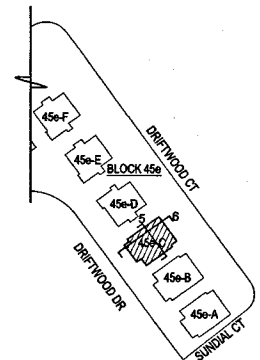
EXISTING GRADE -----

FINISH GRADE \_\_\_\_\_

COLOR	ROOF COLOR (PAPCO PREMIER)	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (PP73); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP38); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-VR79); SW6314
		5	POLISHED MAHOGANY (EPP27); SW2838
		6	TEAL STENCIL (FPF20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (PP27); SW0051
		11	VOGUE GREEN (PP71); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

	FRONT ENTRY	DECK	REAR	STORAGE (INCL. TRIM)
UNIT 1	COLOR: 5	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 5	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



**Tonkin / Hoyne**  
Architecture & Urban Design

OWNER/DEVELOPER  
BREMERTON HOUSING AUTHORITY  
4040 WHEATON WAY  
BREMERTON, WA 98510  
(360) 618-7190

ARCHITECT  
TONKIN / HOYNE PS  
204 FIRST AVENUE SOUTH  
SEATTLE, WA 98104  
(206) 624-7880

CIVIL ENGINEER  
BCRA ENGINEERING  
2106 PACIFIC AVENUE, SUITE 300  
TACOMA, WA 98402  
(253) 627-4367

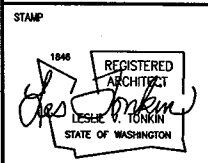
LANDSCAPE ARCHITECT  
BERGER PARTNERSHIP PS  
1721 8TH AVENUE NORTH  
SEATTLE, WA 98109  
(206) 325-8877

STRUCTURAL ENGINEER  
MICHAEL NOUWENS  
STRUCTURAL CONSULTANTS  
17529 TENTH AVENUE NW  
SHORELINE, WA 98177  
(206) 546-8446

MECHANICAL ENGINEER  
PRESSLER ENGINEERING, INC.  
18702 NORTH CREEK PKWY, SUITE 213  
BOTHELL, WA 98011  
(425) 485-3002

ELECTRICAL ENGINEER  
TRES WEST ENGINEERS, INC.  
2702 SOUTH 42ND STREET, SUITE 301  
TACOMA, WA 98408  
(253) 472-3300

CONTRACTOR  
WALSH CONSTRUCTION CO.  
509 FAIRVIEW AVENUE NORTH  
SEATTLE, WA 98109  
(206) 547-4008



**FOR PERMIT ONLY**  
THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATIONS BY GOVERNMENT AGENCIES.

DRAWING ISSUE  
PERMIT SET: 11-05-10  
BID SET: 04-07-11

DRAWING TITLE  
**BLDG 45e-C - ELEVATIONS AND SECTIONS**

SCALE: 1/8" = 1'-0"  
PLOT DATE: 05/26/2011  
CAD FILE: BVW-45eC-A3001  
PROJ. MGR.: MM/PPM  
DRAFTER: LCHH

SHEET NO.

**45eC A30.1**



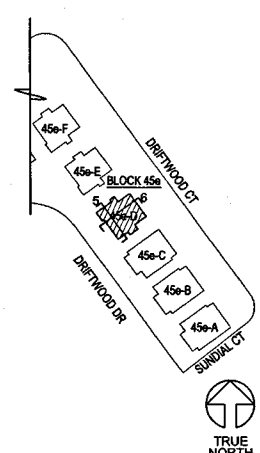
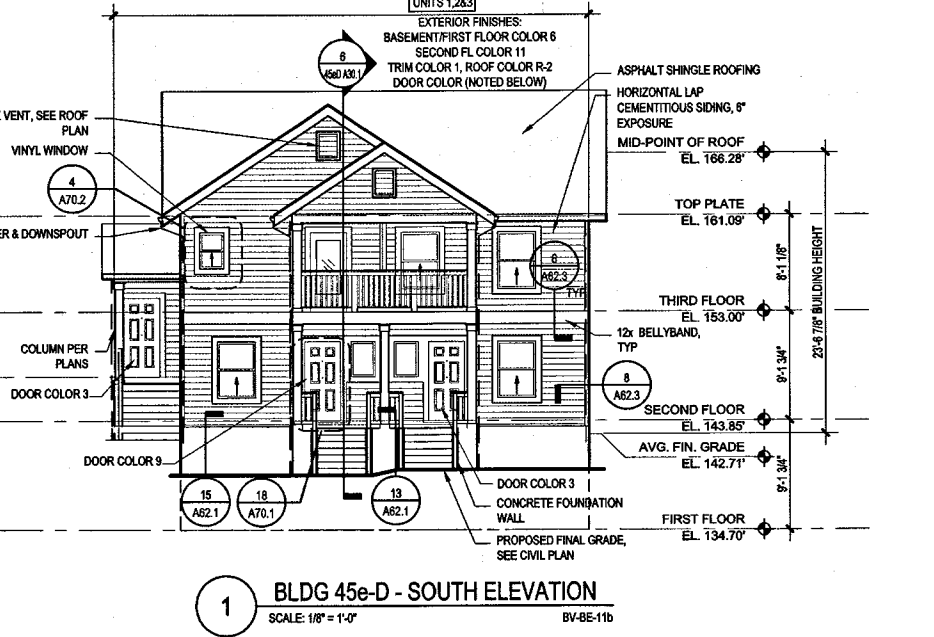
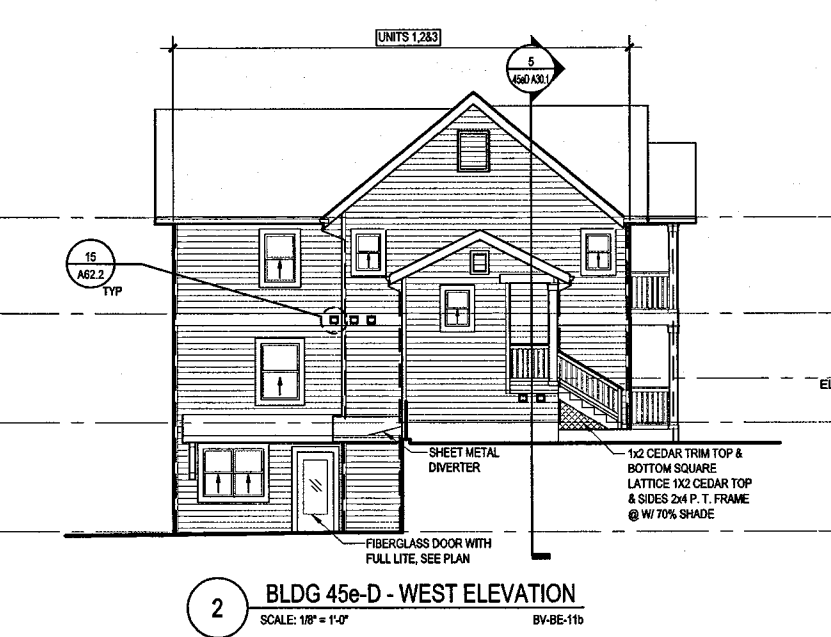
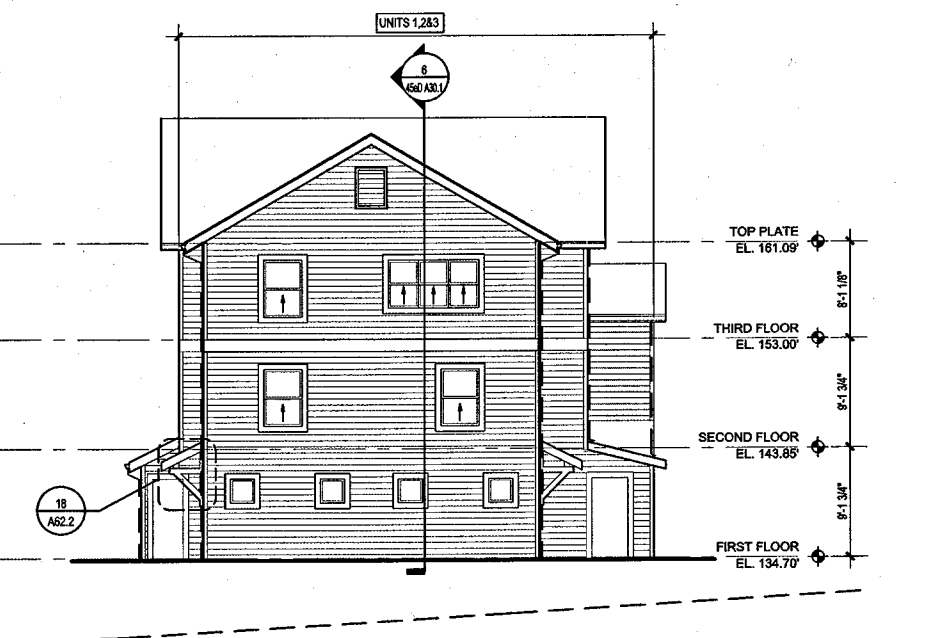
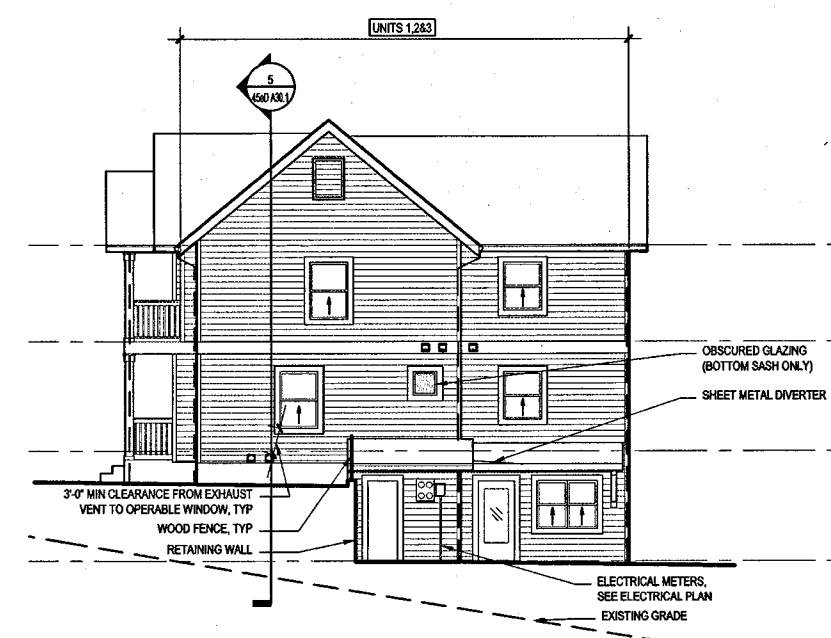
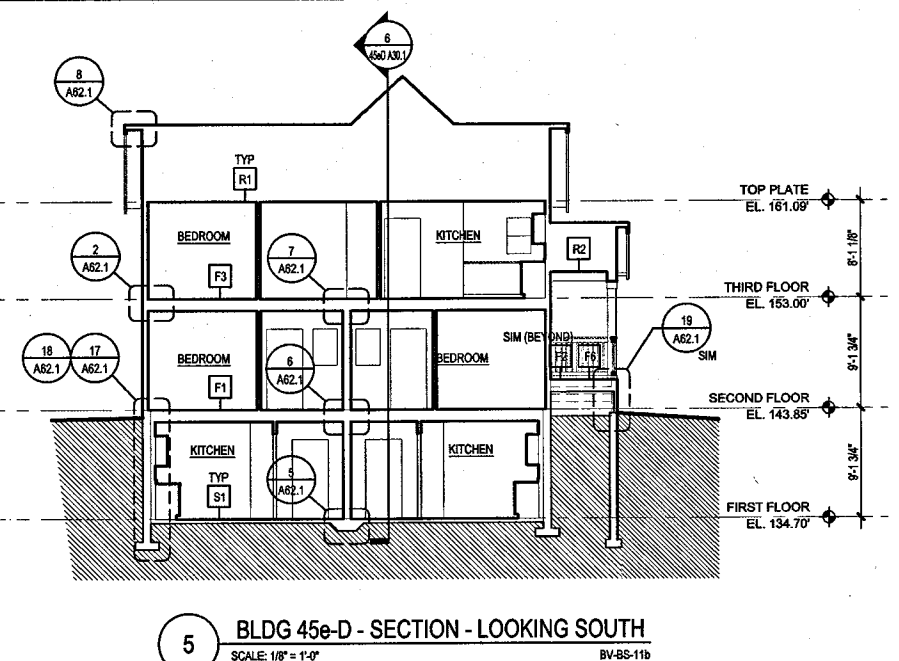
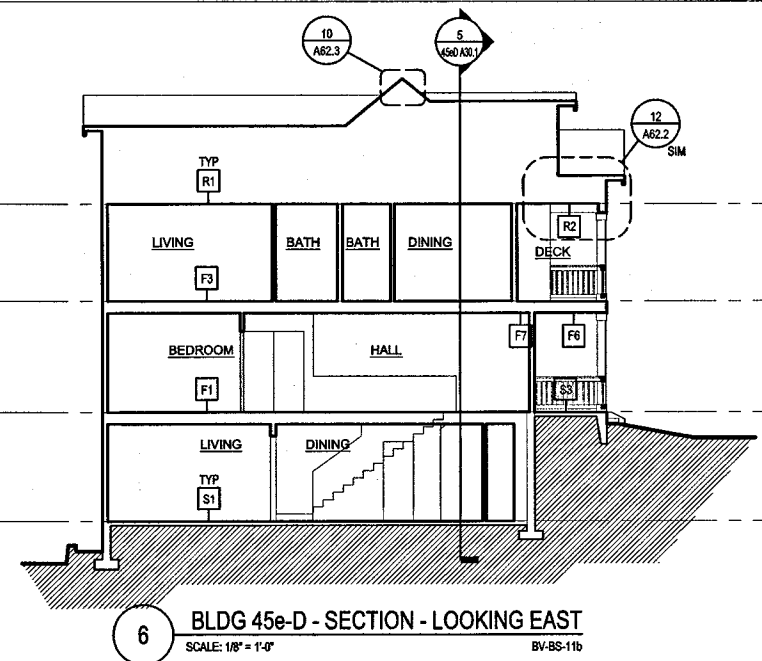
- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
  - STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
  - COLOR IS UNIFORM PER UNIT FOR FASCIA, DOOR TRIM, WINDOW TRIM, GARAGE DOORS, COLUMNS, RAILINGS, BRACKETS AND ALL OTHER EXTERIOR TRIMS, UNO. FRONT DOOR COLORS ARE NOTED SEPARATELY; SEE ELEVATIONS.
  - ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
  - ALL EXTERIOR TRIM TO BE FIBER CEMENT BOARD U.N.O., IN SIZES INDICATED.
  - ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15A82.2.
  - PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

- LEGEND:**
- EXISTING GRADE -----
- FINISH GRADE \_\_\_\_\_

COLOR	ROOF COLOR (PAPCO PREMIER)	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (IPP73); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP738); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-VR79); SW6314
		5	POLISHED MAHOGANY (EPP27); SW2838
		6	TEAL STENCIL (IPP20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G/32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (PP27); SW0051
		11	VOGUE GREEN (PP71); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

	FRONT ENTRY	DECK	REAR	STORAGE (INCL. TRIM)
UNIT 1	COLOR: 9	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 3	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 3	COLOR: 3	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



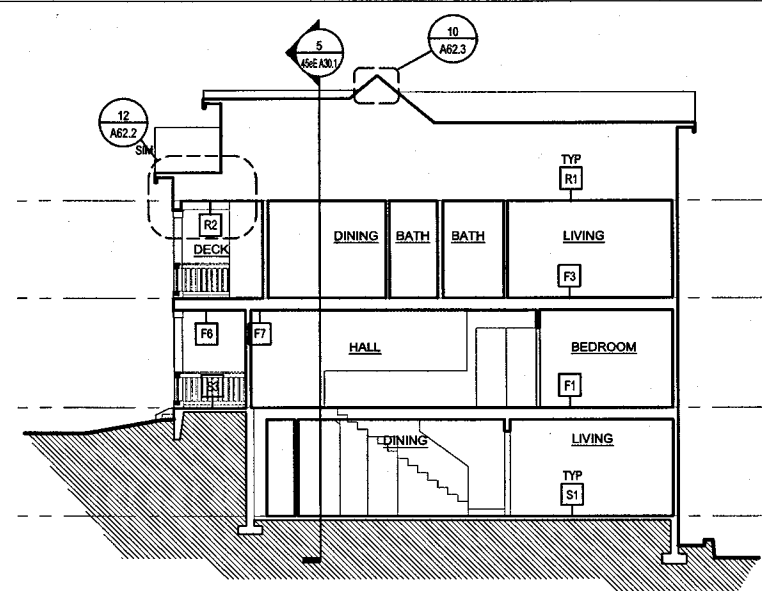
- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
  - STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
  - COLOR IS UNIFORM PER UNIT FOR FASCIA, DOOR TRIM, WINDOW TRIM, GARAGE DOORS, COLUMNS, RAILINGS, BRACKETS AND ALL OTHER EXTERIOR TRIMS, UNO. FRONT DOOR COLORS ARE NOTED SEPARATELY; SEE ELEVATIONS.
  - ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
  - ALL EXTERIOR TRIM TO BE FIBER CEMENT BOARD U.N.O., IN SIZES INDICATED
  - ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15/A62.2.
  - PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

- LEGEND:**
- EXISTING GRADE -----
- FINISH GRADE \_\_\_\_\_

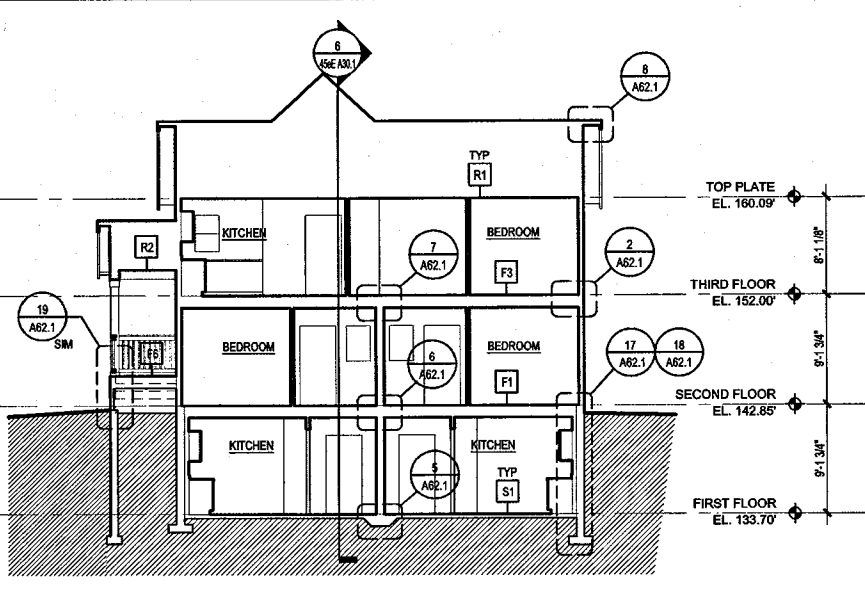
COLOR	ROOF COLOR (PAPCO PREMIER)	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN165): SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (IPP/73): SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP/38): SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R/79): SW6314
		5	POLISHED MAHOGANY (EPP/27): SW2838
		6	TEAL STENCIL (IPP/20): SW0018
		7	SPICED CIDER: SW7702
		8	EDGY GOLD (Y-G/G/32): SW6409
		9	MANOR HOUSE (SW 7605): SW7505
		10	CLASSIC IVORY (IPP/27): SW0051
		11	VOGUE GREEN (IPP/71): SW0065
		12	ARCADE WHITE (H1): SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

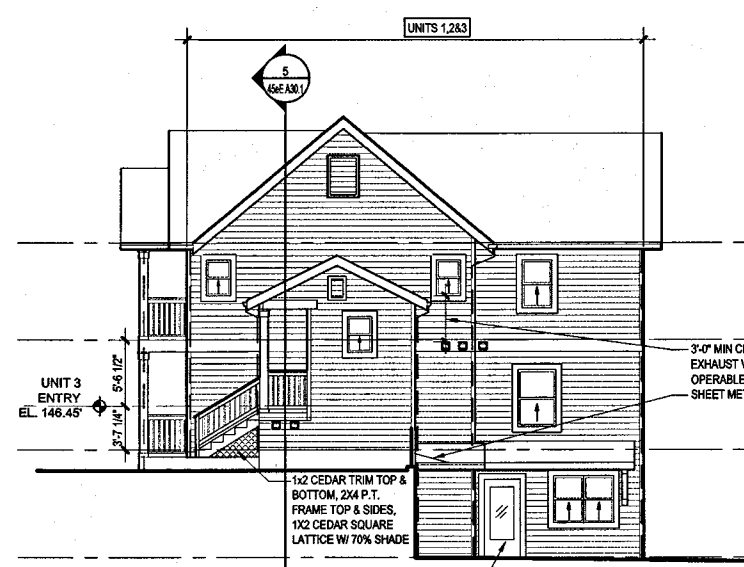
	FRONT ENTRY	DECK	REAR	STORAGE (INCL. TRIM)
UNIT 1	COLOR: 11	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 6	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 3	COLOR: 8	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



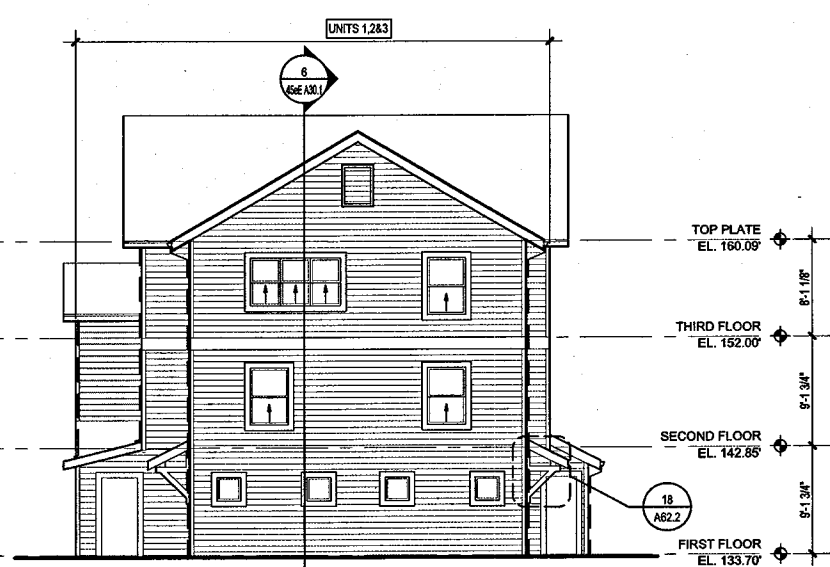
**6 BLDG 45e-E - SECTION - LOOKING WEST**  
SCALE: 1/8" = 1'-0"  
BV-BS-11b



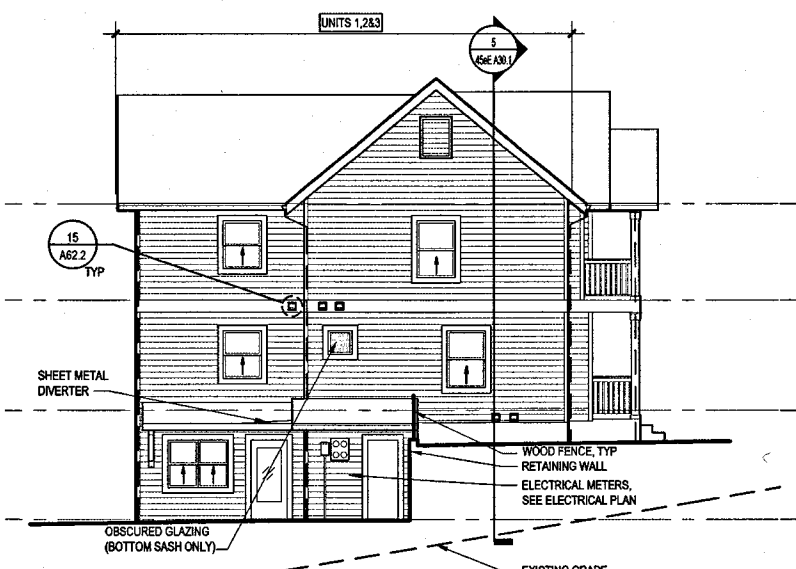
**5 BLDG 45e-E - SECTION - LOOKING SOUTH**  
SCALE: 1/8" = 1'-0"  
BV-BS-11b



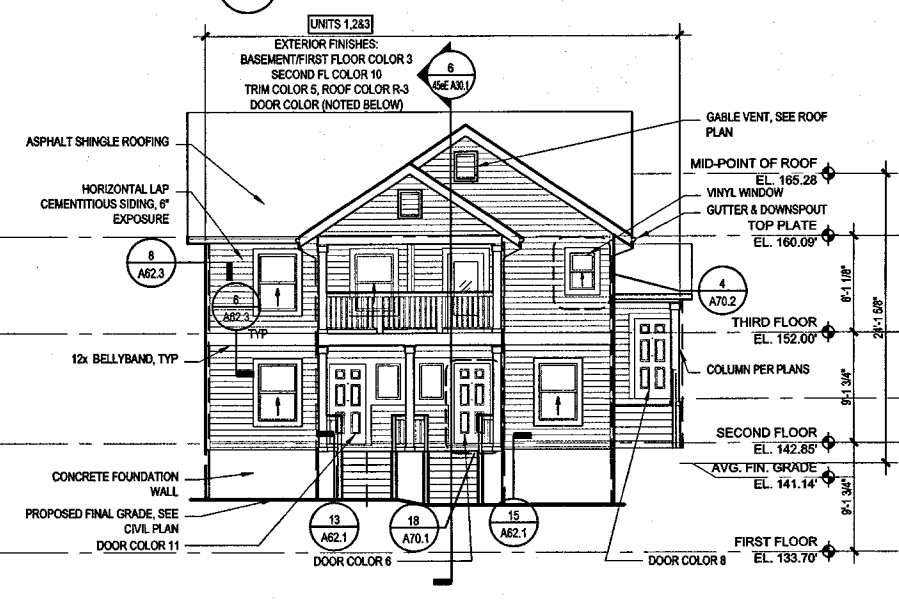
**4 BLDG 45e-E - EAST ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-11b



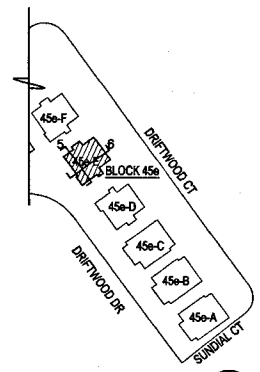
**3 BLDG 45e-E - NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-11b



**2 BLDG 45e-E - WEST ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-11b



**1 BLDG 45e-E - SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-11b





BAY VISTA WEST

Tonkin / Hoynes  
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BREMERTON HOUSING AUTHORITY  
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SEATTLE, WA 98104  
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2106 PACIFIC AVENUE, SUITE 300  
TACOMA, WA 98402  
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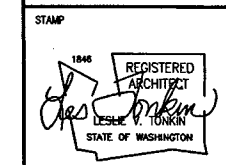
LANDSCAPE ARCHITECT  
BERGER PARTNERSHIP PS  
1721 5TH AVENUE NORTH  
SEATTLE, WA 98109  
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2732 SOUTH 42ND STREET, SUITE 301  
TACOMA, WA 98409  
(253) 472-3300

CONTRACTOR  
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(206) 547-4008



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DRAWING ISSUE  
PERMIT SET: 11-05-10  
BID SET: 04-07-11

DRAWING TITLE  
BLDG 45e-F -  
ELEVATIONS AND  
SECTIONS

SCALE: 1/8" = 1'-0"  
PLOT DATE: 05/26/2011  
CAD FILE: BVW-45eF-A3001  
PROJ. MGR.: MM/PPM  
DRAFTER: LCH/H

SHEET NO.

45eF A30.1

- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
  - STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
  - COLOR IS UNIFORM PER UNIT FOR FASCIA, DOOR TRIM, WINDOW TRIM, GARAGE DOORS, COLUMNS, RAILINGS, BRACKETS AND ALL OTHER EXTERIOR TRIMS, UNO. FRONT DOOR COLORS ARE NOTED SEPARATELY; SEE ELEVATIONS.
  - ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
  - ALL EXTERIOR TRIM TO BE FIBER CEMENT BOARD U.N.O. IN SIZES INDICATED.
  - ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15/A62.2.
  - PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

**LEGEND:**

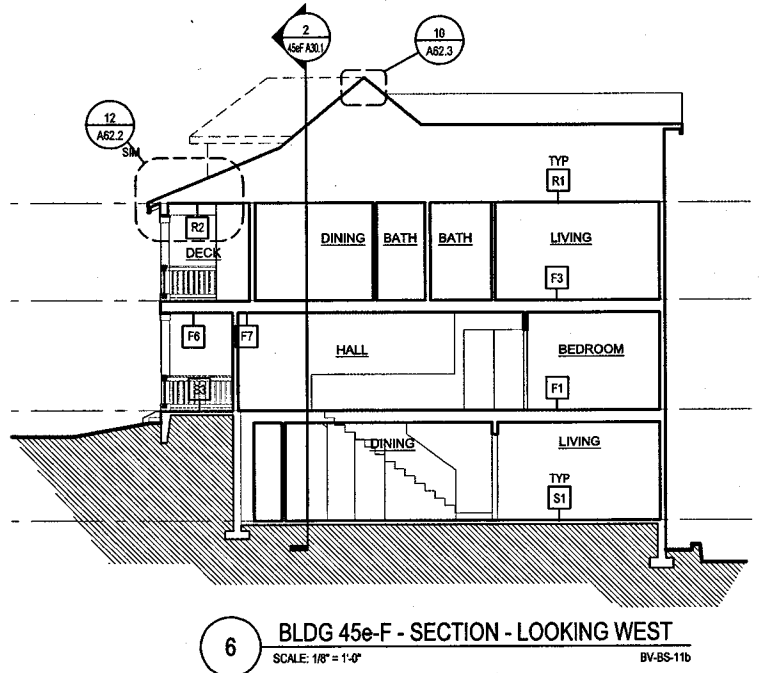
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FINISH GRADE \_\_\_\_\_

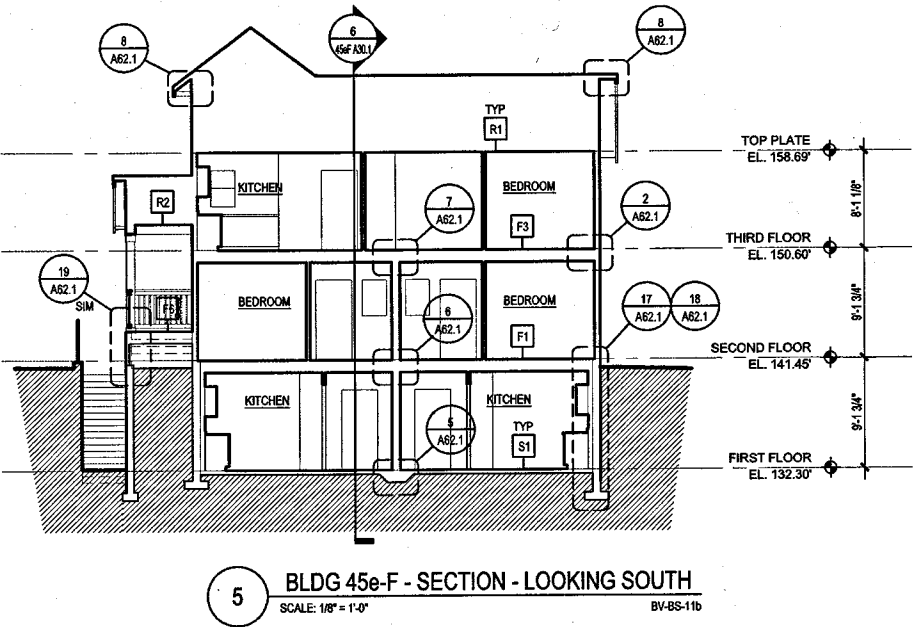
COLOR	ROOF COLOR	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (IPP7/3); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP/38); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R/9); SW6314
		5	POLISHED MAHOGANY (EPP/27); SW2838
		6	TEAL STENCIL (IPP/20); SW0018
		7	SPICED CIDER: SW7702
		8	EDGY GOLD (Y-G/G/32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (IPP/27); SW0051
		11	VOGUE GREEN (IPP/71); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

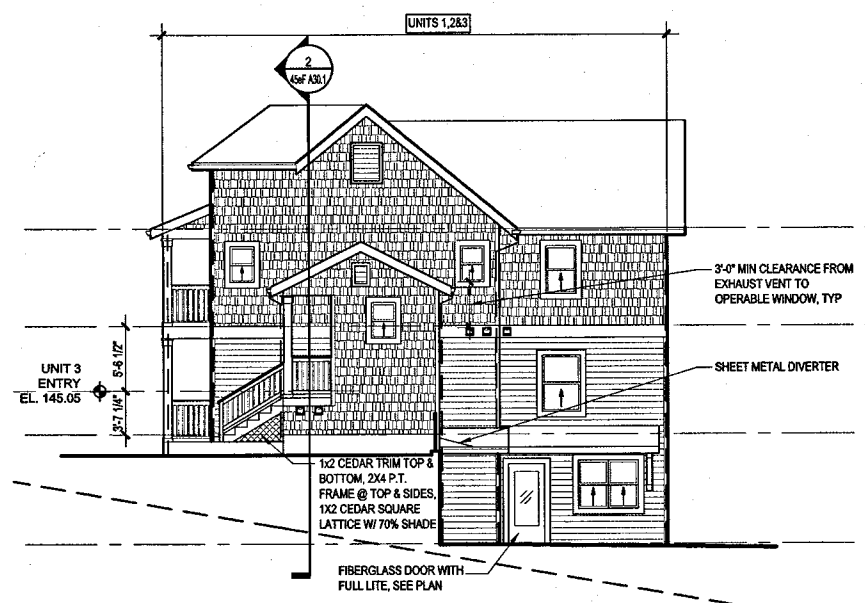
	FRONT ENTRY	DECK	REAR	STORAGE (INCL. TRIM)
UNIT 1	COLOR: 10	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 4	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 3	COLOR: 5	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



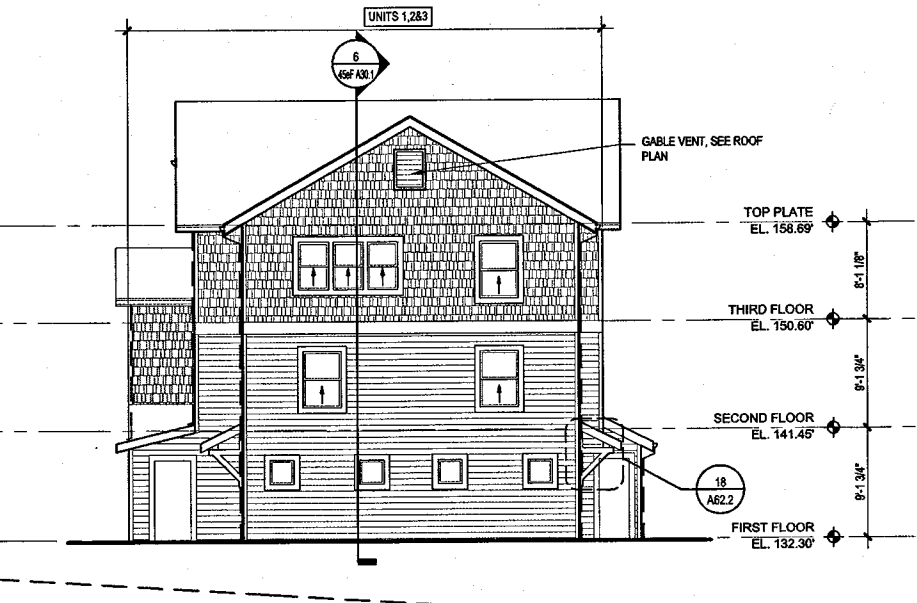
6 BLDG 45e-F - SECTION - LOOKING WEST  
SCALE: 1/8" = 1'-0" BV-BE-11b



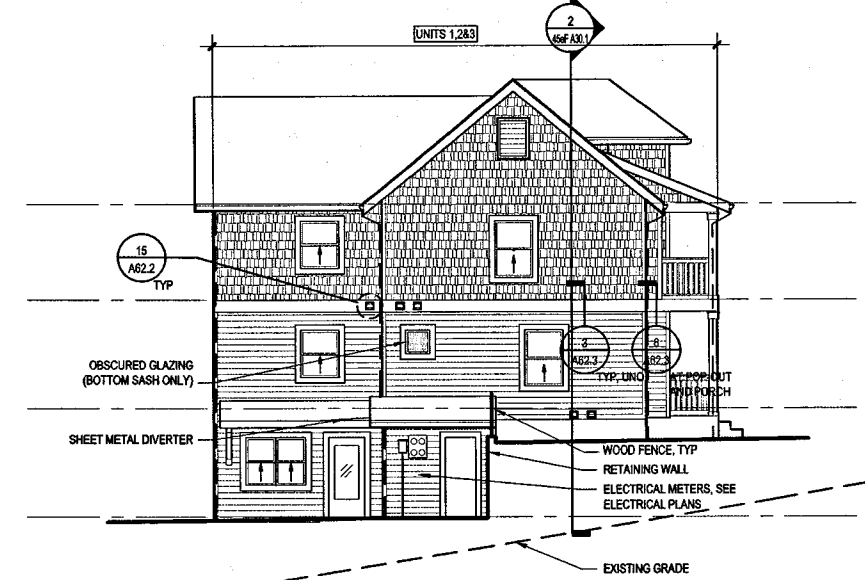
5 BLDG 45e-F - SECTION - LOOKING SOUTH  
SCALE: 1/8" = 1'-0" BV-BE-11b



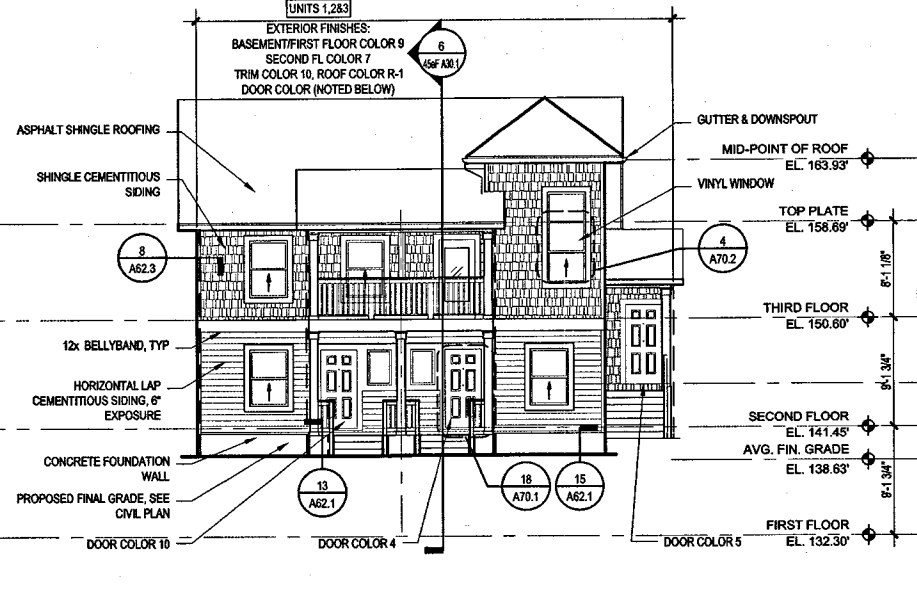
4 BLDG 45e-F - EAST ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-11b



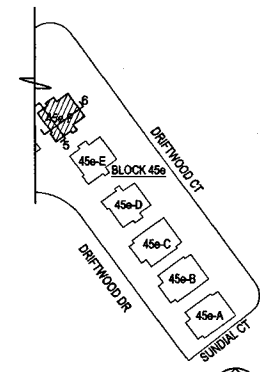
3 BLDG 45e-F - NORTH ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-11b



2 BLDG 45e-F - WEST ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-11b



1 BLDG 45e-F - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0" BV-BE-11b



- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
  - STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR.
  - COLOR IS UNIFORM PER UNIT FOR FASCIA, DOOR TRIM, WINDOW TRIM, GARAGE DOORS, COLUMNS, RAILINGS, BRACKETS AND ALL OTHER EXTERIOR TRIMS, UNO. FRONT DOOR COLORS ARE NOTED SEPARATELY; SEE ELEVATIONS.
  - ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
  - ALL EXTERIOR TRIM TO BE FIBER CEMENT BOARD U.N.O., IN SIZES INDICATED.
  - ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15/A62.2.
  - PROVIDE 5/8x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

**LEGEND:**

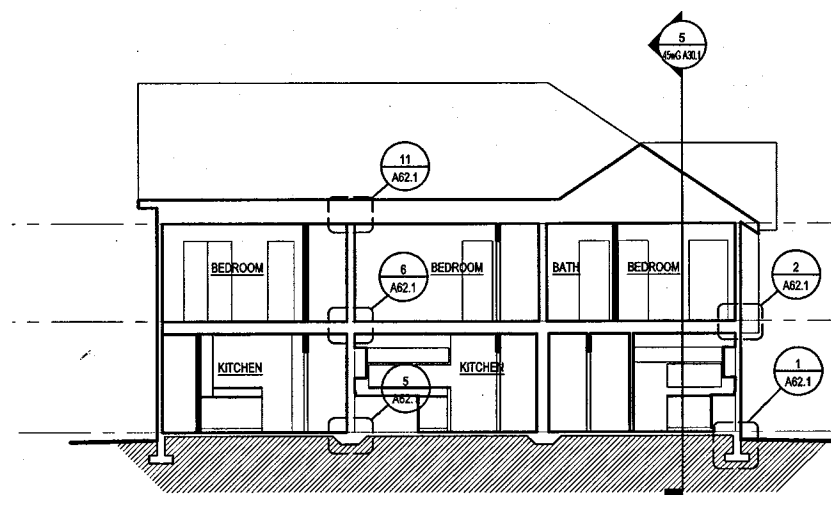
EXISTING GRADE \_\_\_\_\_

FINISH GRADE \_\_\_\_\_

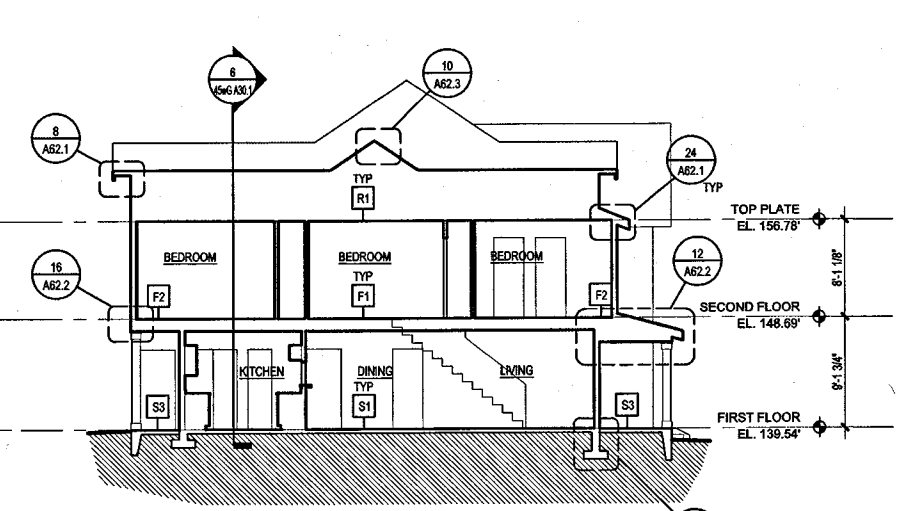
COLOR	ROOF COLOR (PAPCO PREMIER)	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (IPP773); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP338); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R79); SW6314
		5	POLISHED MAHOGANY (EPP127); SW2838
		6	TEAL STENCIL (IPP20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (IPP27); SW0051
		11	VOGUE GREEN (IPP17); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

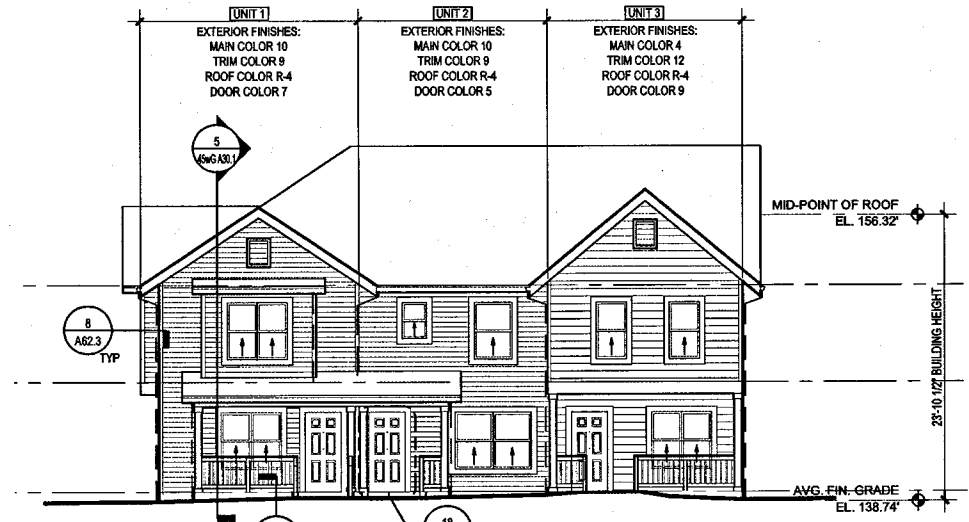
	FRONT ENTRY	DECK	REAR	STORAGE (INCL TRIM)
UNIT 1	COLOR: 7	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 5	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 3	COLOR: 9	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



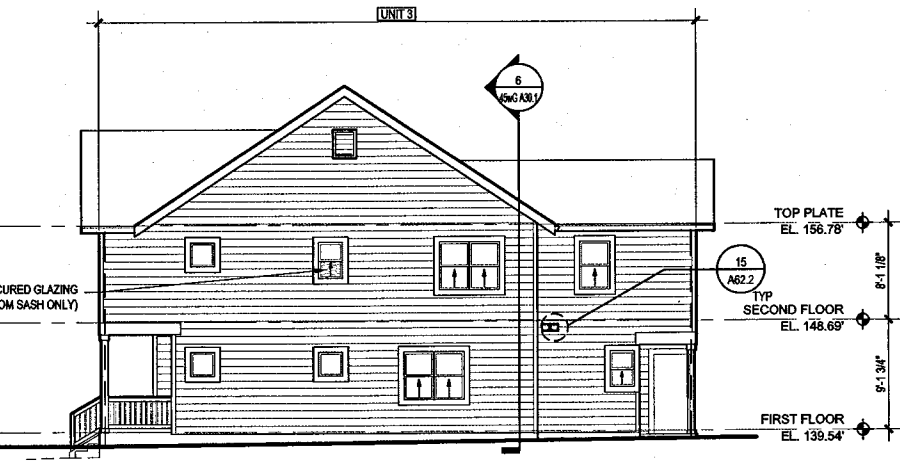
**6 BLDG 45w-G - SECTION - LOOKING EAST**  
SCALE: 1/8" = 1'-0"  
BVW-SS-27b



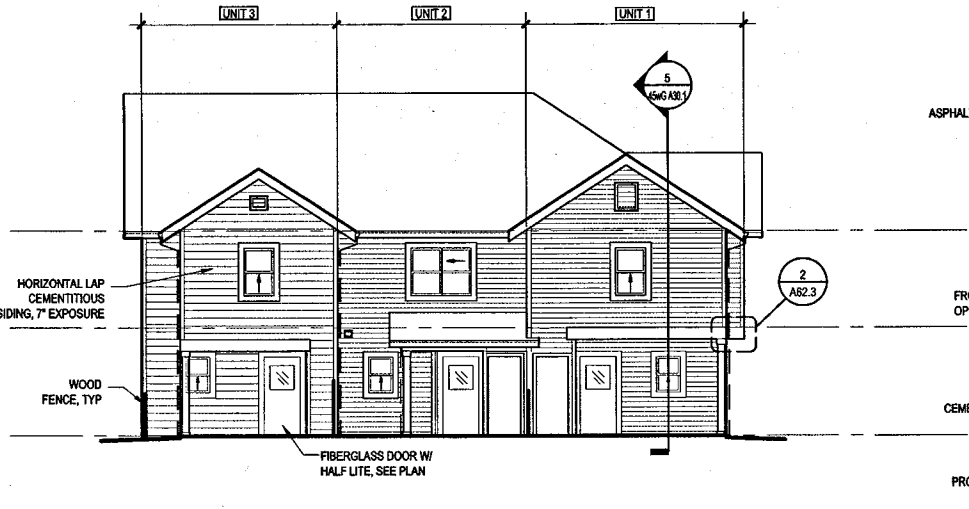
**5 BLDG 45w-G - SECTION - LOOKING NORTH**  
SCALE: 1/8" = 1'-0"  
BVW-SS-27b



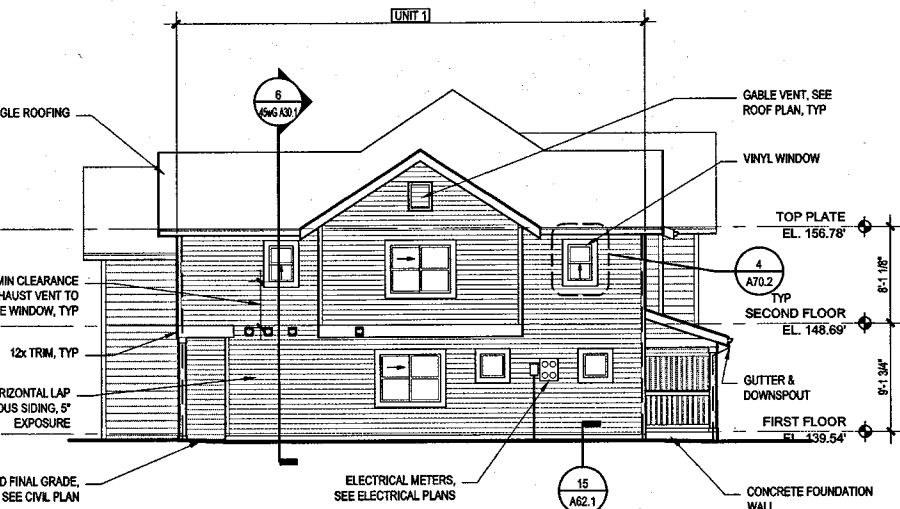
**4 BLDG 45w-G - EAST ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-27b.dwg



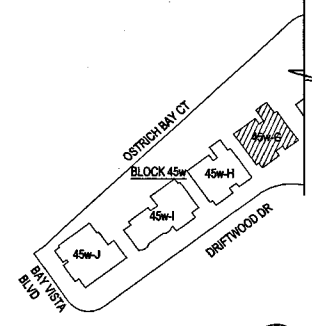
**3 BLDG 45w-G - NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-27b.dwg

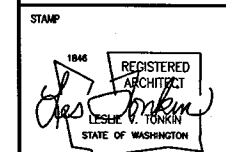


**2 BLDG 45w-G - WEST ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-27b.dwg



**1 BLDG 45w-G - SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-27b.dwg





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DRAWING ISSUE  
PERMIT SET: 12-13-10  
BID SET: 04-07-11

DRAWING TITLE  
**BLDG 45w-H - ELEVATIONS AND SECTIONS**

SCALE: 1/8" = 1'-0"  
PLOT DATE: 05/26/2011  
CAD FILE: BVW-45wH-A30.1  
PROJ. MGR.: MMPPM  
DRAFTER: LC

SHEET NO.  
**45wH A30.1**

- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
  - STORAGE ROOM DOORS TO MATCH ADJACENT SIDING COLOR, UNO.
  - COLOR IS UNIFORM PER UNIT FOR FASCIA, DOOR TRIM, WINDOW TRIM, GARAGE DOORS, COLUMNS, RAILINGS, BRACKETS AND ALL OTHER EXTERIOR TRIMS, UNO. FRONT DOOR COLORS ARE NOTED SEPARATELY; SEE ELEVATIONS.
  - ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
  - ALL EXTERIOR TRIM TO BE FIBER CEMENT BOARD U.N.O. IN SIZES INDICATED.
  - ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15A62.2.
  - PROVIDE 5/8"X4" CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

**LEGEND:**

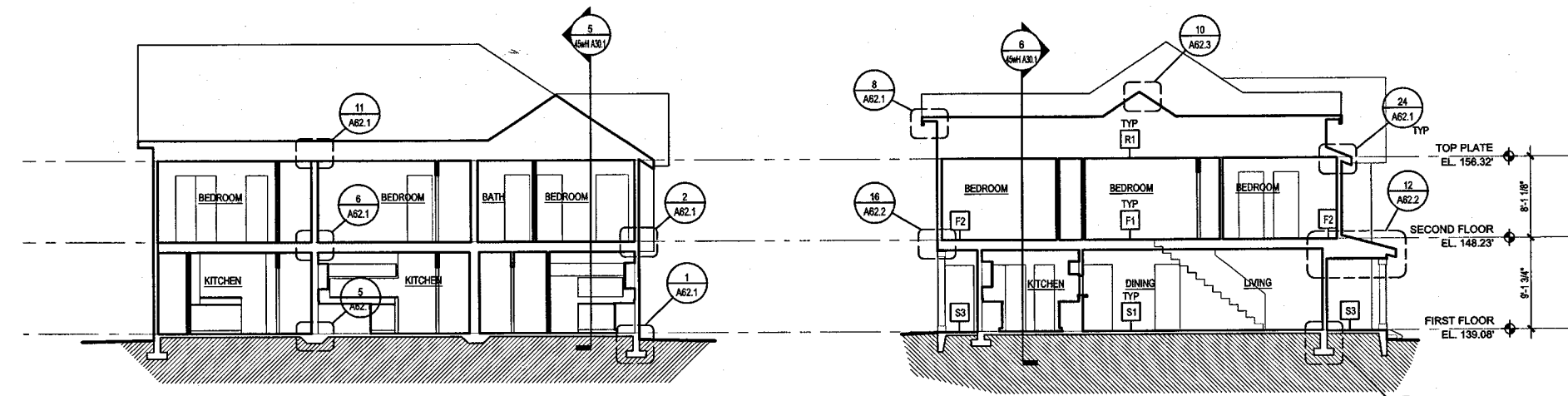
EXISTING GRADE -----

FINISH GRADE \_\_\_\_\_

COLOR	ROOF COLOR (PAPCO PREMIER)	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN/165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (PP/73); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP/38); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R/79); SW6314
		5	POLISHED MAHOGANY (EPP/27); SW2838
		6	TEAL STENCIL (IPP/20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G/32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (IPP/27); SW0051
		11	VOGUE GREEN (IPP/71); SW0065
		12	ARCADE WHITE (H1); SW7100

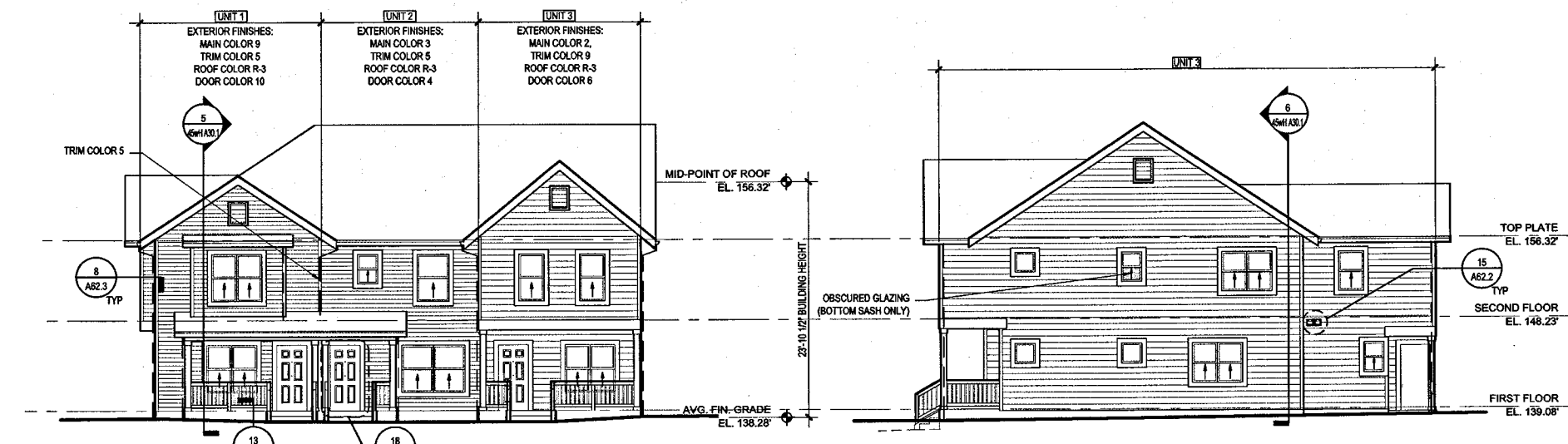
**EXTERIOR DOOR PAINT COLOR SCHEDULE**

	FRONT ENTRY	DECK	REAR	STORAGE (INCL TRIM)
UNIT 1	COLOR: 10	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 4	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 3	COLOR: 6	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



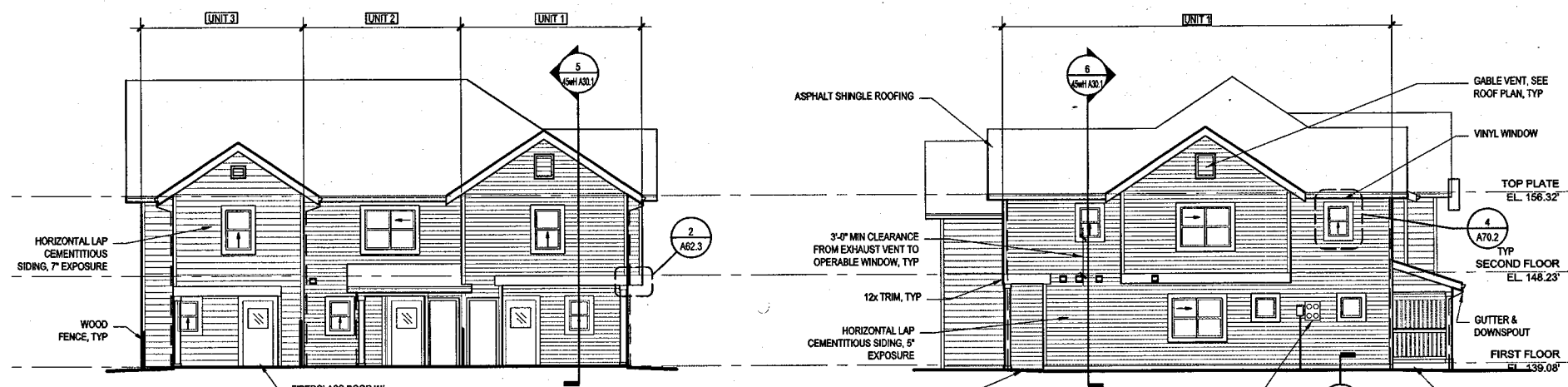
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SCALE: 1/8" = 1'-0" BVW-BS-27b

**5 BLDG 45w-G - SECTION - LOOKING NORTH**  
SCALE: 1/8" = 1'-0" BVW-BS-27b



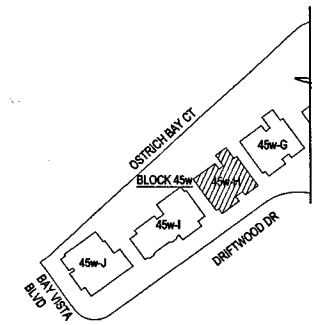
**4 BLDG 45w-H - EAST ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-27b.dwg

**3 BLDG 45w-H - NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-27b.dwg



**2 BLDG 45w-H - WEST ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-27b.dwg

**1 BLDG 45w-H - SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0" BV-BE-27b.dwg





BAY VISTA WEST

Tonkin / Hoynes  
Architecture & Urban Design

OWNER/DEVELOPER  
BREMERSON HOUSING AUTHORITY  
4040 WHEATON WAY  
BREMERSON, WA 98310  
(360) 616-7150

ARCHITECT  
TONKIN/HOYNES PS  
204 FIRST AVENUE SOUTH  
SEATTLE, WA 98104  
(206) 624-7880

CIVIL ENGINEER  
BCPA ENGINEERING  
2106 PACIFIC AVENUE, SUITE 300  
TACOMA, WA 98402  
(253) 827-4367

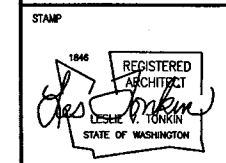
LANDSCAPE ARCHITECT  
BERGER PARTNERSHIP PS  
1721 8TH AVENUE NORTH  
SEATTLE, WA 98109  
(206) 325-6877

STRUCTURAL ENGINEER  
MICHAEL NOUWENS  
STRUCTURAL CONSULTANTS  
17329 TENTH AVENUE NW  
SHORELINE, WA 98177  
(206) 545-8445

MECHANICAL ENGINEER  
PRESSLER ENGINEERING, INC.  
18702 NORTH CREEK PKWY, SUITE 213  
BOTHELL, WA 98011  
(425) 485-3002

ELECTRICAL ENGINEER  
TRES WEST ENGINEERS, INC.  
2702 SOUTH 42ND STREET, SUITE 301  
TACOMA, WA 98409  
(253) 472-3300

CONTRACTOR  
WALSH CONSTRUCTION CO.  
509 FAIRVIEW AVENUE NORTH  
SEATTLE, WA 98109  
(206) 547-4008



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DRAWING ISSUE  
PERMIT SET: 12-13-10  
BID SET: 04-07-11

DRAWING TITLE  
BLDG 45w-I -  
ELEVATIONS AND  
SECTIONS

SCALE: 1/8" = 1'-0"  
PLOT DATE: 05/26/2011  
CAD FILE: BVW-45w-I-A3001  
PROJ. MGR: MM/PPM  
DRAFTER: LC

SHEET NO.

45wI A30.1

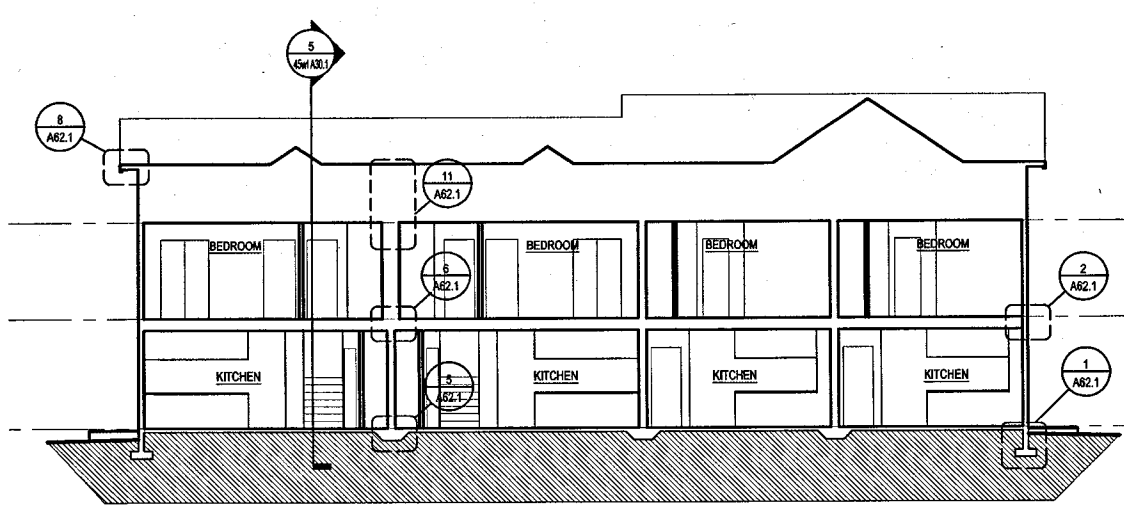
- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
  - DOWNSPOUT COLOR TO MATCH ADJACENT ROOFING COLOR, UNO.
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  - ALL ROOFS AT BAYS SHALL BE ASPHALT SHINGLED ROOFING, UNO.
  - ALL EXTERIOR TRIM TO BE FIBER CEMENT BOARD U.N.O., IN SIZES INDICATED.
  - ALL THRU WALL VENT PENETRATIONS SHALL BE PER 15/A62.2.
  - PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

- LEGEND:**
- EXISTING GRADE \_\_\_\_\_
- FINISH GRADE \_\_\_\_\_

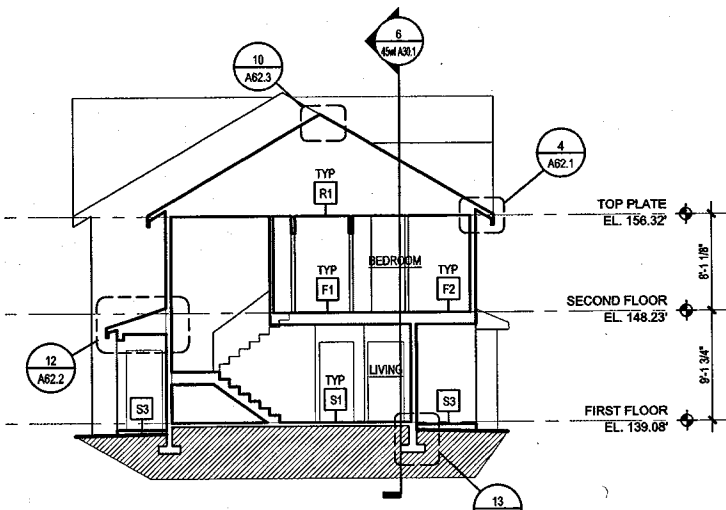
COLOR	ROOF COLOR	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
	(PAPCO PREMIER)		
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (PP773); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP38); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R79); SW6314
		5	POLISHED MAHOGANY (EPP27); SW2838
		6	TEAL STENCIL (FPF20); SW0018
		7	SPICED CIDER: SW7702
		8	EDGY GOLD (Y-G/G32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (PP127); SW0051
		11	VOGUE GREEN (PP71); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

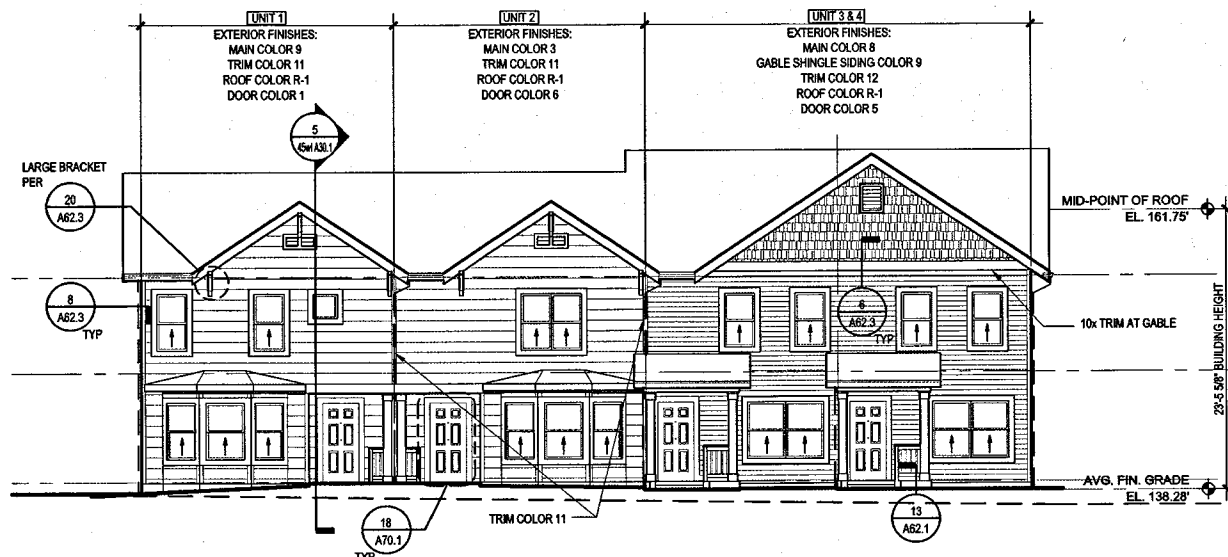
	FRONT ENTRY	DECK	REAR	STORAGE (INCL TRIM)
UNIT 1	COLOR: 1	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 6	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 3	COLOR: 5	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 4	COLOR: 5	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



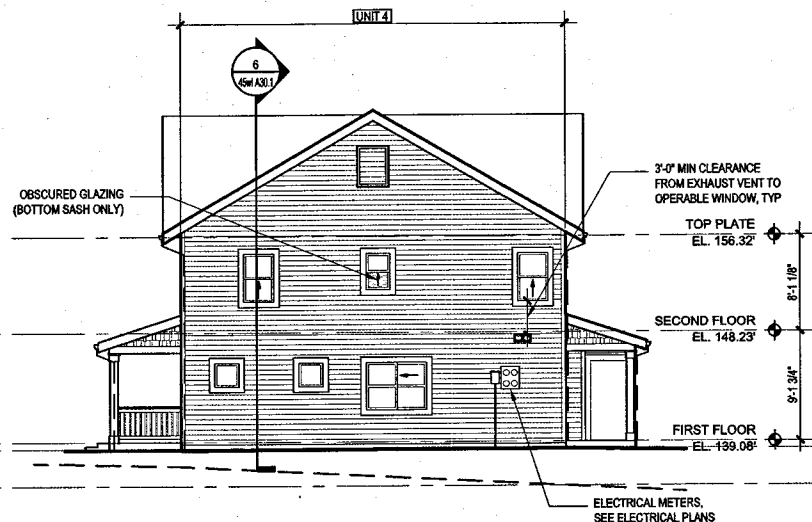
6 BLDG 45w-I - SECTION - FACING WEST  
SCALE: 1/8" = 1'-0"



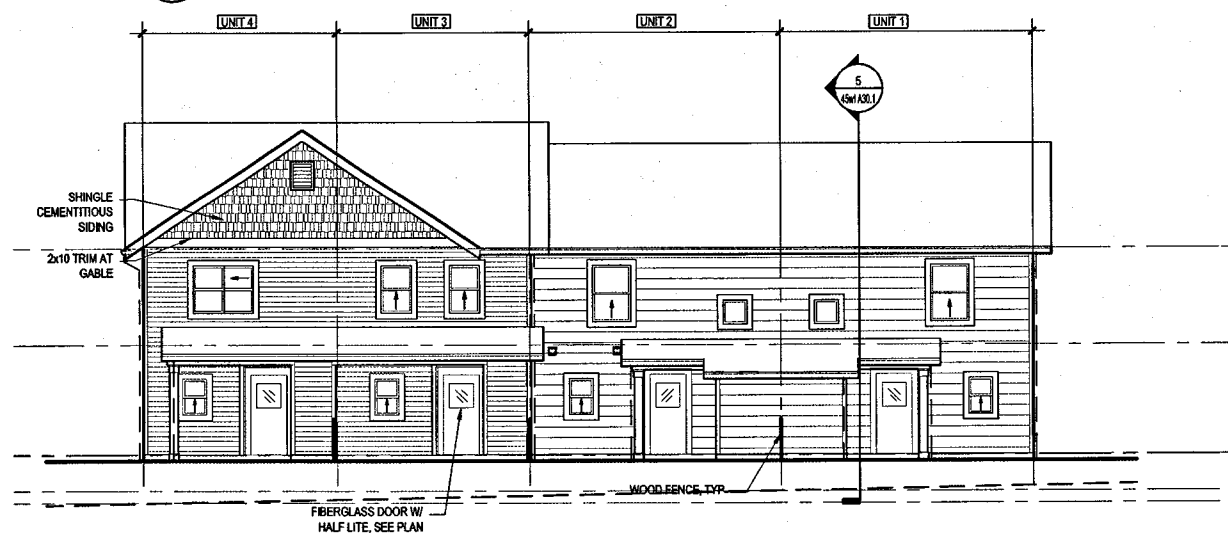
5 BLDG 45w-I - SECTION - LOOKING NORTH  
SCALE: 1/8" = 1'-0"



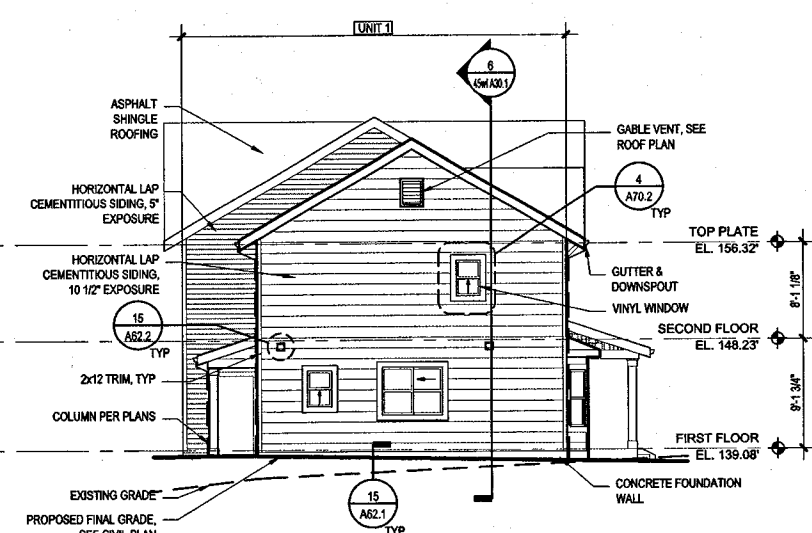
4 BLDG 45w-I - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



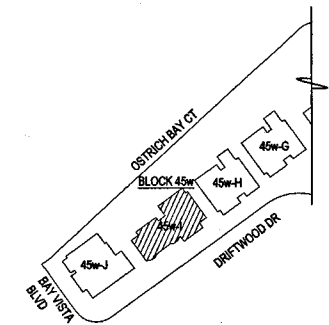
3 BLDG 45w-I - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



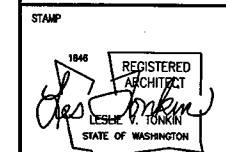
2 BLDG 45w-I - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



1 BLDG 45w-I - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"







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DRAWING ISSUE  
PERMIT SET: 12-13-10  
BID SET: 04-07-11

DRAWING TITLE  
**BLDG 45w-J -  
ELEVATIONS AND  
SECTIONS**

SCALE: 1/8" = 1'-0"  
PLOT DATE: 05/28/2011  
CAD FILE: BVW-45wJ-A3001  
PROJ. MGR.: MMPPM  
DRAFTER: LC

SHEET NO.  
**45wJ A30.1**

- ELEVATION NOTES:**
- REFER TO SITE PLAN FOR GRADING, TOP OF PLATE AND RIDGE ELEVATIONS (MAXIMUM HEIGHT).
  - SEE SHEETS A70.1-A70.3 FOR DOOR AND WINDOW INFORMATION.
  - CORNER TRIM COLOR TO MATCH ADJACENT SIDING COLOR.
  - TRANSITIONS BETWEEN SIDING TYPES AND COLORS OCCUR AT INSIDE CORNERS, UNO.
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  - ALL THRU WALL VENT PENETRATIONS SHALL BE PER 150A5.2.
  - PROVIDE 5/4x4 CEMENTITIOUS TRIM ON ALL SIDES OF GABLE ATTIC VENTS.
  - EXTERIOR FINISH AT SOFFITS: COLOR 12 (TYP) AT OVERHANGS, DECKS, PORCHES AND BAY WINDOWS.
  - STORAGE DOOR AND TRIM PAINTED TO MATCH ADJACENT SIDING, TYP.

**LEGEND:**

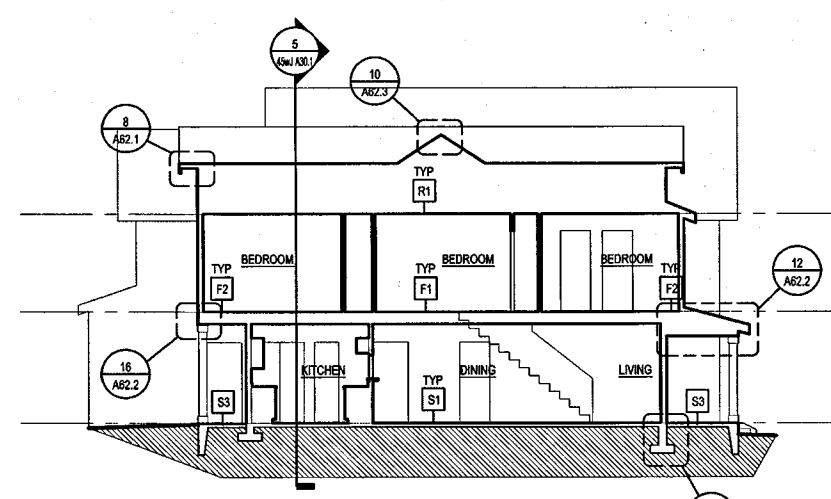
EXISTING GRADE -----

FINISH GRADE \_\_\_\_\_

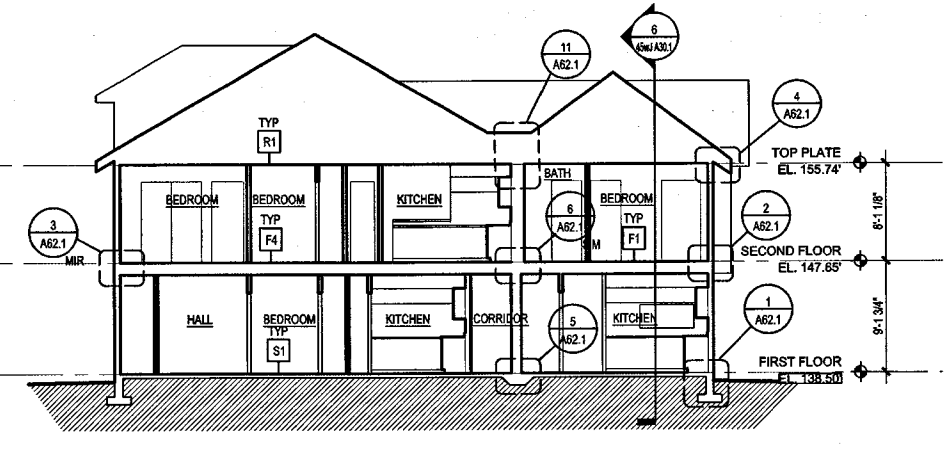
COLOR	ROOF COLOR	COLOR	COLOR NAME (SHERWIN WILLIAMS #)
R-1	ANTIQUE BLACK	1	SVELTE SAGE (FN/165); SW6164
R-2	DRIFTWOOD	2	SUNBEAM YELLOW (IPP/73); SW0078
R-3	BUCKSKIN TAN	3	HAMMERED SILVER (EPP/38); SW2840
R-4	WEATHERED WHITE	4	LUXURIOUS RED (R-V/R/79); SW6314
		5	POLISHED MAHOGANY (EPP/27); SW2836
		6	TEAL STENCIL (IPP/20); SW0018
		7	SPICED CIDER; SW7702
		8	EDGY GOLD (Y-G/G/32); SW6409
		9	MANOR HOUSE (SW 7505); SW7505
		10	CLASSIC IVORY (IPP/27); SW0051
		11	VOGUE GREEN (IPP/71); SW0065
		12	ARCADE WHITE (H1); SW7100

**EXTERIOR DOOR PAINT COLOR SCHEDULE**

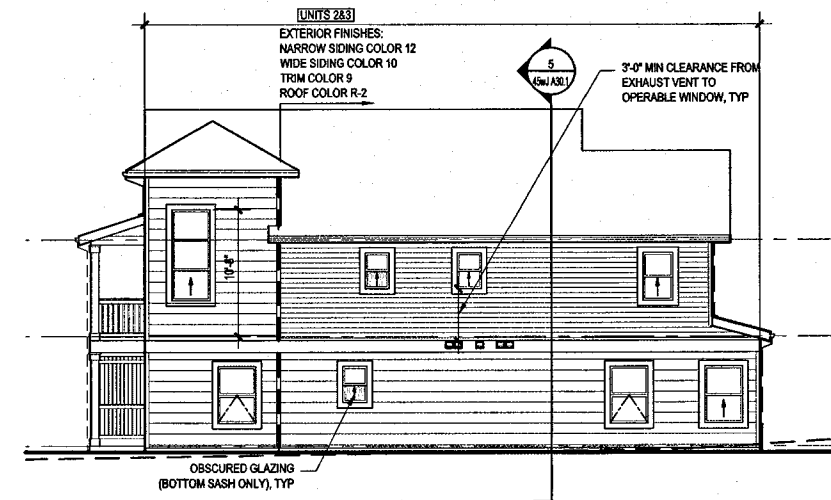
	FRONT ENTRY	DECK	REAR	STORAGE (INCL TRIM)
UNIT 1	COLOR: 9	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 2	COLOR: 9	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING
UNIT 3	COLOR: 9	MATCH FRONT ENTRY	MATCH ADJ TRIM	MATCH ADJ SIDING



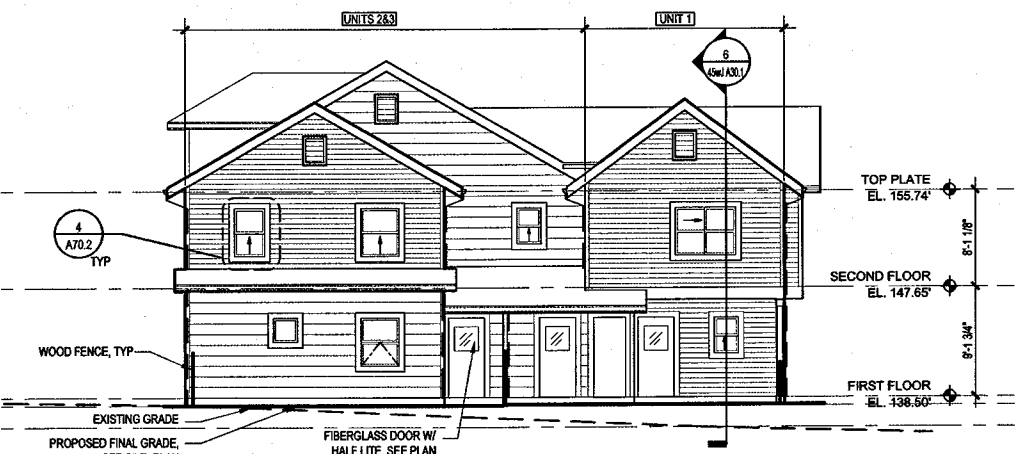
**6 BLDG 45w-J - SECTION - FACING NORTH**  
SCALE: 1/8" = 1'-0"  
BV-BE-42



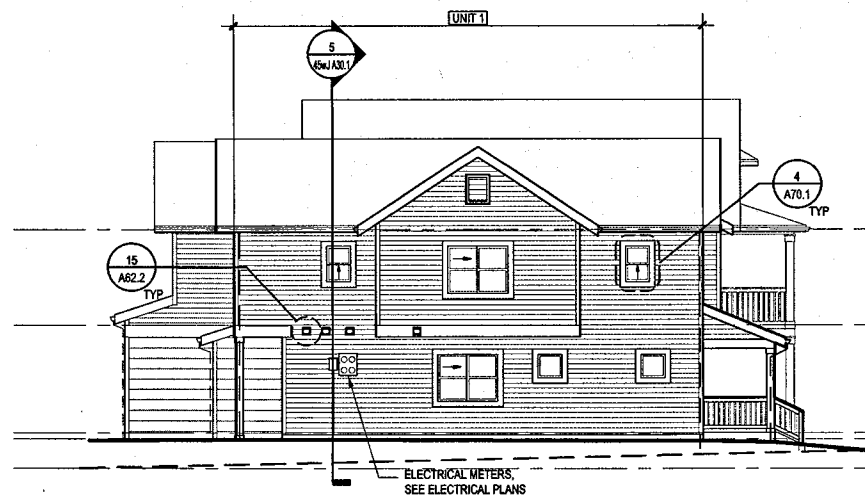
**5 BLDG 45w-J - SECTION - FACING EAST**  
SCALE: 1/8" = 1'-0"  
BV-BE-42



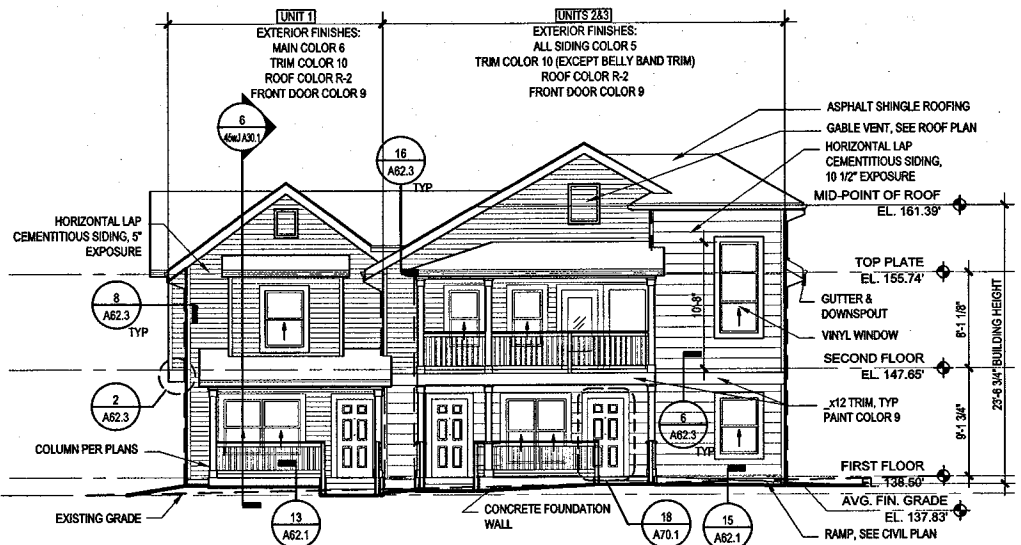
**4 BLDG 45w-J - EAST ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-42.dwg



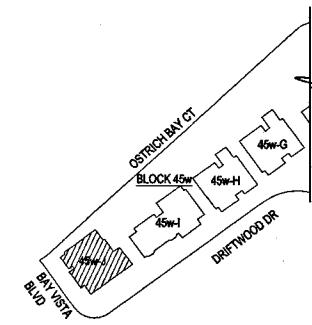
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BV-BE-42.dwg



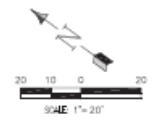
**2 BLDG 45w-J - WEST ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-42.dwg



**1 BLDG 45w-J - SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"  
BV-BE-42.dwg



OSTRICH BAY COURT



45e-F Lot 5  
4898-4896-4894

45e-E Lot 6  
4876-4874-4872

45e-D Lot 7  
4860-4858-4856

45e-C Lot 8  
4834-4832

45e-B Lot 9  
4818-4816

45e-A Lot 10  
4804-4802

DRIFTWOOD DRIVE

45w-G Lot 4  
4912  
4914  
4916

45w-H Lot 3  
4934  
4936  
4938

45w-I Lot 2  
4952  
4954  
4956  
4958

45w-J Lot 1  
4886-4884-4882

4835-4833

4817-4815

4803-4801

4933

BLOCK 41  
41-C Lot 12

41-B Lot 13

41-A Lot 14

4935

41-D Lot 11

4939

BAY VISTA COURT

4951

4953

4955

4957

4959

40-C Lot 15

BLOCK 40  
40-B Lot 16

40-A Lot 17

4850-4848-4816-4842

4828-4826-4824-4822

4792-4788-4786

4798-4796-4794

4778

4776

4774

4772

4770

4758

4756

4754

4752

4750

39-C Lot 18

BLOCK 39  
39-B Lot 19

39-A Lot 20

BAY VISTA BLVD.



## BAY VISTA WEST ADDRESS LIST

<b>Unit #</b>	<b>Street Address</b>	<b>Unit#</b>	<b>Street Address</b>
4758	Bay Vista Blvd	4816	Driftwood St
4756	Bay Vista Blvd	4834	Driftwood St
4754	Bay Vista Blvd	4832	Driftwood St
4752	Bay Vista Blvd	4858	Driftwood St
4750	Bay Vista Blvd	4856	Driftwood St
4778	Bay Vista Blvd	4860	Driftwood St
4772	Bay Vista Blvd	4874	Driftwood St
4770	Bay Vista Blvd	4876	Driftwood St
4776	Bay Vista Blvd	4872	Driftwood St
4774	Bay Vista Blvd	4898	Driftwood St
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4790	Bay Vista Blvd	4938	Driftwood St
4788	Bay Vista Blvd	4936	Driftwood St
4828	Bay Vista Blvd	4934	Driftwood St
4822	Bay Vista Blvd	4958	Driftwood St
4826	Bay Vista Blvd	4956	Driftwood St
4824	Bay Vista Blvd	4954	Driftwood St
4850	Bay Vista Blvd	4952	Driftwood St
4848	Bay Vista Blvd		
4842	Bay Vista Blvd		
4846	Bay Vista Blvd		
4844	Bay Vista Blvd		
4886	Bay Vista Blvd		
4882	Bay Vista Blvd		
4884	Bay Vista Blvd		
4951	Driftwood St		
4953	Driftwood St		
4955	Driftwood St		
4959	Driftwood St		
4957	Driftwood St		
4801	Driftwood St		
4803	Driftwood St		
4815	Driftwood St		
4817	Driftwood St		
4833	Driftwood St		
4835	Driftwood St		
4933	Driftwood St		
4935	Driftwood St		
4937	Driftwood St		
4931	Driftwood St		
4804	Driftwood St		
4802	Driftwood St		
4818	Driftwood St		



1	BAY VISTA WEST OVERVIEW
---	-------------------------



2	BAY VISTA WEST REAR
---	---------------------



3	EXTERIOR FACADE
---	-----------------



4	ASPHALT SHINGLE ROOF
---	----------------------



5	VINYL DOUBLE-GLAZED WINDOWS
---	-----------------------------



6	PATIO
---	-------

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**Project Name: Bay Vista West**



Photo #1: Apartment front and partial side elevations



Photo #2: Apartment front elevation



Photo #3: Apartment front elevation



Photo #4: Apartment side elevation



Photo #5: Apartment front and side elevations



Photo #6: Apartment front and side elevations

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Project Name: Bay Vista West



Photo #7:	Siding with attic gable vent
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Photo #8:	Back yard fencing
-----------	-------------------



Photo #9:	Parking area and driveway between apartment buildings
-----------	---



Photo #10:	Apartment front elevations
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--	--

--	--

Project Name: Bay Vista West



Photo #13: Vinyl framed window



Photo #14: Apartment front entrance with handrails and concrete steps



Photo #15: Second floor apartment exterior storage closet



Photo #16: Apartment rear entry doors with addresses and privacy fences



Photo #17: Apartment patio and balcony guardrail



Photo #18: Soffit vent and exterior fire sprinkler

# Paint scheme for BVW/BVS

Paint number:

#6164

#0078

#2840

#6303

#2838

#0018

#7702

#6409

#7505

#0051

#0065

#7100

Paint color:

Sveite Sage

Sunbeam Yellow

Hammered Silver

Cordial

Polished Mahogany

Teal Stencil

Spiced Cider

Edgy Gold Rev

Manor House

Classic Ivory

Vogue Green

Arcade White



# 1 ↑

6164 SVEITE SAGE

# 2 ↑

0078 Sunbeam Yellow

#3 ↑

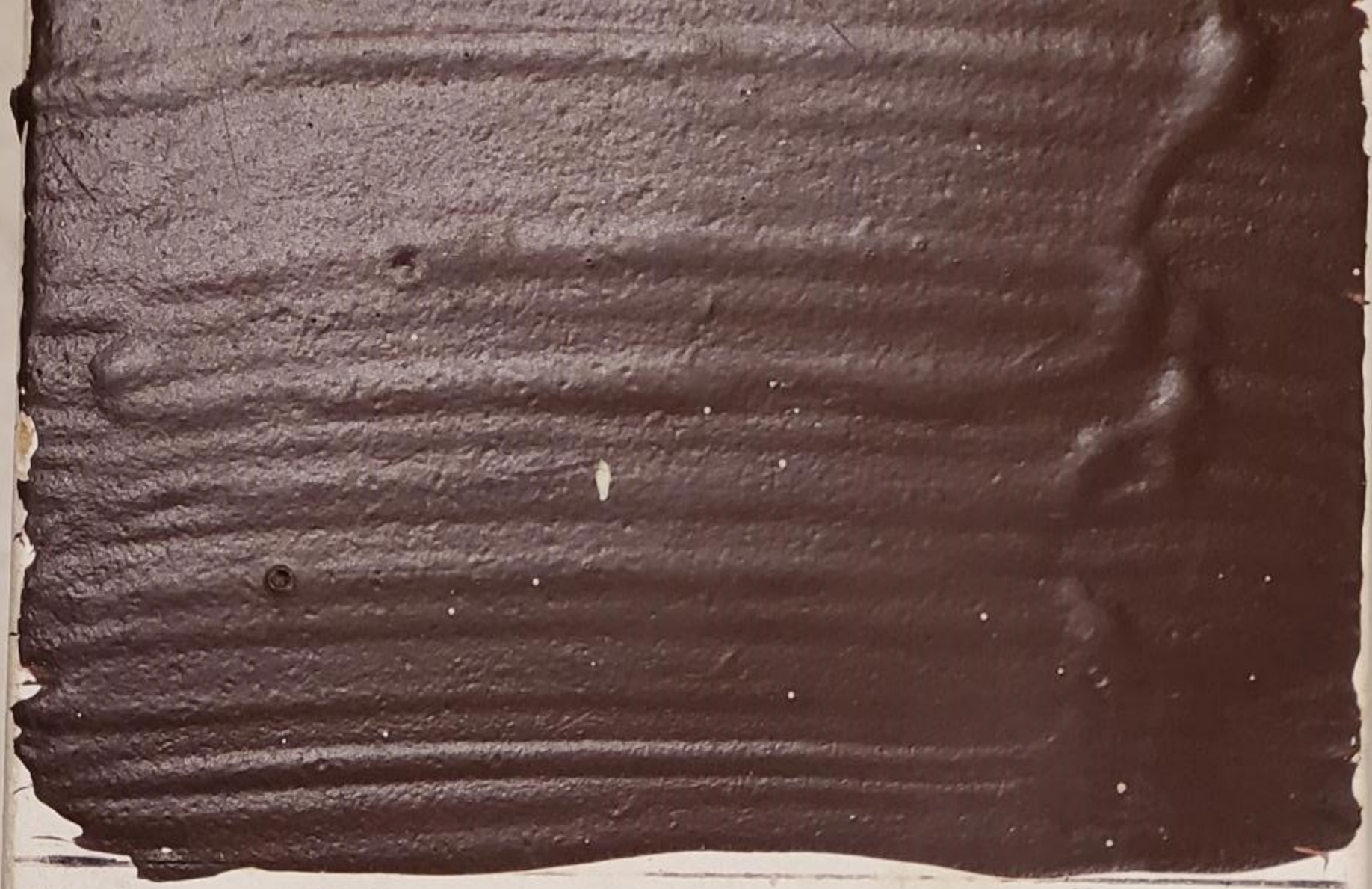
2840 Hammerd Silver



#4 ↑

6303 Cordia





# 5 ↑

2838 POLISHED Mohogany



# 6 ↑

0018 TEAL STENCIL





# 7 ↑

7702 Spiced Cider



# 8 ↑


6409 Edgy Gold Rev






#9 ↑

17505 Manor house



#10 ↑

0051 classic Ivory





#11 ↑

0065 Vogue Green

#12 ↑

0100 Arcade White